

Memorandum to the City of Markham Committee of Adjustment

April 23, 2025

File: A/013/25
Address: 25 Honeybourne Crescent, Markham
Applicant: Mehdy Ajvand
Hearing Date: Wednesday, April 30, 2025

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 2024-19, RES-ENLR, as amended, as it relates to a proposed detached two-storey residential dwelling, to permit:

- a) **By-law 2024-19, Section 6.3.3.2(c):**
a maximum second storey main building coverage of 24 percent, whereas the by-law permits a maximum coverage of 20 percent for any storey above the first;
- b) **By-law 2024-19, Section 4.8.10.2(d)(iii):**
a maximum porch projection from the established main building line of 1.83 metres, whereas the by-law permits a maximum projection of 0.6 metres;
- c) **By-law 2024-19, Section 6.3.3.2(j):**
a maximum outside wall height of 7.52 metres, whereas the by-law permits a maximum outside wall height of 7 metres;
- d) **By-law 2024-19, Section 4.9.9(b):**
two separate dwelling entrances within the same wall facing the street, whereas the by-law permits one entrance in a wall facing a street; and
- e) **By-law 2024-19, Section 6.3.2.2(e):**
a maximum second storey distance from the established building line of 17.44 metres, whereas the by-law permits a maximum second storey distance from the established building line of 14.5 metres

BACKGROUND

Property Description

The 984.71 m² (10,600 ft²) subject property is a corner lot located at the bend of Honeybourne Crescent, west of Galsworthy Drive and north of Highway 7 East. The property is located within an established residential neighbourhood comprised of a mix of one and two-storey detached dwellings. The surrounding area is undergoing a transition with newer dwellings being developed as infill developments. Mature vegetation exists across the property.

There is an existing one-storey single detached dwelling on the property, which according to assessment records was constructed in 1957.

Proposal

The applicant is proposing to construct a new two-storey single family detached dwelling with a gross floor area of 497.48 m² (5,355 ft²) and a main building depth of 18.22 m (59.77 ft). The building features two dwelling entrances on the west façade.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

Section 8.2.3.5 of the 2014 Official Plan outlines development criteria for the “Residential Low Rise” designation to ensure infill development respects and reflects the existing pattern and character of the surrounding neighborhood. These criteria include policies with respect to height, massing, setbacks, and protection of existing vegetation.

Zoning By-Law 2024-19

The subject property is zoned RES-ENLR under By-law 2024-19, as amended, which permits a Detached Dwelling, Home Child Care, Home Occupation, and Shared Housing-Small Scale.

Zoning Preliminary Review (ZPR) Undertaken

The applicant has completed a Zoning Preliminary Review (ZPR) to confirm the initial variances required for the proposed development. The applicant submitted revised drawings on March 14, 2025. The applicant has not conducted a Zoning Preliminary Review for the revised drawings. Consequently, it is the owner’s responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Main Building Coverage (Second Storey)

The applicant is requesting a second storey main building coverage of 24% of the lot area, whereas the By-law permits a maximum of 20% for any storey above the first storey. This equates to a total second-storey coverage of 228.02 m² (2,454.5 ft²), representing an increase of 4% or approximately 38.0 m² (409.0 ft²) above what is permitted.

The building layout otherwise complies with all applicable zoning provisions—such as setbacks, lot coverage, and height—that establish the prescribed building envelope. This ensures the proposed dwelling will remain in keeping with the intended scale and character of residential infill developments in the neighbourhood. The proposed gross floor area is also consistent with the evolving infill development pattern in the area.

Furthermore, the proposed second-storey coverage is less than the first-storey coverage and thereby helps reduce the perceived massing of the upper floor in which the zoning by-law seeks to achieve.

Staff are of the opinion that the requested variance is minor, reflects the current infill development trend, and will not result in any negative impacts on the surrounding neighbourhood.

Increase in Porch Projection

The applicant is requesting relief to permit a maximum porch projection of 1.83 m (6 ft) from the established main building line, whereas the Zoning By-law permits a maximum projection of 0.60 m (1.97 ft). This represents an additional projection of 1.23 m (4.03 ft) beyond what is permitted.

The proposed porch is unenclosed, well away from other residential dwellings and does not encroach into the required front yard setback. Staff do not anticipate the porch projection will result in any adverse impact on the streetscape character. Staff are of the opinion that the requested variance maintains the general intent and purpose of the Zoning By-law and have no concerns with the request.

Increase in Maximum Outside Wall Height and Maximum Second Storey Distance from Established Building Line

The applicant is requesting relief to permit a maximum outside wall height of 7.52 m (24.67 ft), whereas the By-law permits a maximum outside wall height of 7.00 m (22.97 ft). This represents an increase of approximately 0.52 metres (1.71 ft) above what is permitted. By limiting projections above the maximum outside wall height, the By-law ensures that buildings maintain consistent overall heights and prevents rooflines from appearing disproportionate or top-heavy. The applicant is also requesting relief to permit a maximum second storey distance from the established building line of 17.44 m (57.23 ft), whereas the By-law permits a maximum second storey distance of 14.5 m (47.57 t). This represents an increase of approximately 2.94 m (9.65 ft) beyond what is permitted.

Staff are satisfied that the requested increase in maximum outside wall height and second storey distance from the established building line maintains a scale that is considered appropriate for the neighbourhood and does not present adverse impacts to the streetscape.

Two Separate Dwelling Entrances

The applicant is requesting relief to permit two separate dwelling entrances within the same wall facing the street, whereas the Zoning By-law permits a maximum of one entrance in a wall facing a street.

The intent of this provision is to preserve a consistent and unified streetscape by limiting the number of primary entrances on the front elevation of a dwelling. Multiple entrances within the same wall can result in a visual appearance more commonly associated with duplex or semi-detached dwellings, which may be out of character with the established built form in the neighbourhood. This can detract from the uniformity and single-detached identity of the streetscape.

In this case, the proposed configuration alters the perceived form and function of the dwelling, which may result in confusion or an inconsistent visual rhythm along the street frontage. Staff are of the opinion that the variance does not maintain the general intent of the Zoning By-law, and do not support this variance.

PUBLIC INPUT SUMMARY

No written submissions were received as of April 25, 2025. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that variance requests a, b, c & e meets the four tests of the Planning Act and have no objection. Staff recommend the denial of variance d as it does not meet the four tests of the Planning Act. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Aaron Chau, Planner I, East District

REVIEWED BY:



Carlson Tsang, Senior Planner, East District

File Path: Amanda\File\ 25 110402 \Documents\District Team Comments Memo

APPENDICIES

Appendix "A" – A/013/25 Conditions of Approval

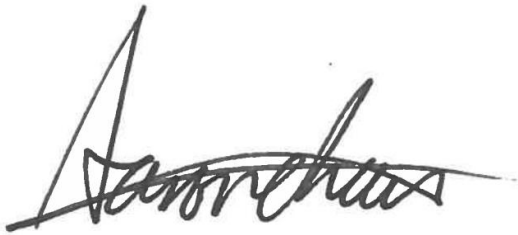
Appendix "B" – Drawings

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/013/25

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on March 14 2025, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to their satisfaction;

CONDITIONS PREPARED BY:

A handwritten signature in black ink, appearing to read 'Aaron Chau', with a large, sweeping initial 'A'.

Aaron Chau, Planner I, East District

25 HONEYBOURNE CRES.

LOT 121
REGISTERED PLAN 4949
CITY OF MARKHAM
(Regional Municipality of York)

THE INFORMATION FOR THIS SITE PLAN HAS BEEN OBTAINED FROM A COPY OF A SURVEY PLAN PREPARED BY MANDARIN SURVEYORS DATED APRIL 07, 2021.THE INFORMATION SHOWN HEREON, INCLUDING GRADES SHALL NOT BE USED FOR ANY LEGAL / ZONING / OR CONSTRUCTION PURPOSE WITHOUT CONFIRMING THE ACCURACY THEREOF BY REFERENCE TO THE APPLICABLE SURVEY.

GENERAL SITE INFORMATION

- REFER TO ALL APPLICABLE LANDSCAPING & SEPTIC SYSTEM PLANS & SPECIFICATIONS TO BE SUPPLIED BY OWNER FOR ADDITIONAL, DETAILED SITE RELATED WORKS AND INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION AND CONNECTION FEES AND PERMITS REQUIRED FOR BUILDING SERVICES, INCLUDING ENTRANCES, HYDRO, WELL, SEPTIC, TELEPHONE, ETC. AS WELL AS THE INSTALLATION OF SUCH BUILDING SERVICES.
- ALL ENTRANCE AND EXIT RAMPS ACROSS BOULEVARDS SHALL BE PAVED OR OTHERWISE FINISHED TO APPLICABLE MUNICIPAL STANDARDS AND SPECIFICATIONS.
- WHERE PAVING IS INDICATED, ALL DRIVE AND PARKING SURFACES SHALL BE PAVED WITH 100mm HOT MIXED, HOT LAID, ASPHALT (25mm HL3) & (75mm HL8) ON MINIMUM 150mm GRANULAR "A" & 300mm GRANULAR "B".
- ALL FILL & GRAUNULAR MATERIAL UNDER DRIVES, PARKING AREAS, AND SIDEWALKS SHAL BE COMPACTED TO 100% S.P.M.D.D. (MIN. 8" GRANULAR)
- UNLESS OTHERWISE AGREED TO IN WRITING, THE OWNER ASSUMES RESPONSIBILITY FOR THE SUITABILITY OF ALL SOIL CONDITIONS. ALL DESIGNS HAVE BEEN BASED ON THE EXISTING UNDISTURBED SOIL HAVING AN ALLOWABLE BEARING CAPACITY OF 4000 P.S.F.
- ALL UTILITIES WHICH OBSTRUCT ENTRANCES SHALL BE RELOCATED AS REQUIRED TO APPLICABLE AUTHORITIES SPECIFICATIONS.
- ALL SITE WORKS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH CITY OF MARKHAM STANDARDS, SPECIFICATIONS, AND DETAILS WHICH SHALL BE DEEMED TO FORM PART OF THIS SITE PLAN.
- ALL SURFACE DRAINAGE SHALL BE CONFINED WITHIN THE BOUNDRAIES OF THE OWNER'S PROPERTY EXCEPT AS SPECICALLY INDICATED.
- EXISTING GRADING & DRAINGE PATTERNS SHALL NOT BE ALTERED OR DISTURBED IN ANY WAY EXCEPT AS SHOWN IN THE AREA OF THE NEW RESIDENCE AND ASSOCIATED DRIVEWAY, ETC.
- MINIMUM SLOPES FOR GRASSED AREAS 1.5%, MINIMUM SLOPES FOR PAVED OR SURFACED AREAS 1.0% (EXCEPT AS SHOWN OTHER WISE.)

1 LANDTABLE PLAN

Scale:1 : 300

BUILDING AND ZONING

THE SUBJECT PROPERTY IS ZONED "R1 - RESIDENTIAL, UNDER BY-LAW 1299."

Site Analysis

Lot Frontage	20.83 m	
Lot Area	984.71m²	10600 s.f.
Net Lot Area	798.9 m²	8600 s.f.
Min Lot Area	613.16 m²	6600 s.f.
Average Grade of CL of Road	186.47	
Establish Grade (187.15 , 187.15)	187.15	

Setbacks

	Allowed	Proposed
Front Yard Setback	9.68 m	9.68 m
Side Setback(North)	2.4 m	2.43 m
Side Setback(South)	1.8 m	1.83 m
Rear Yard Setback	7.5 m	18.03 m
Building Length	16.8 m	22.87 m
Building Depth	16.8 m	22.87 m
Building Height	7- 10 m	7.52- 10.11m

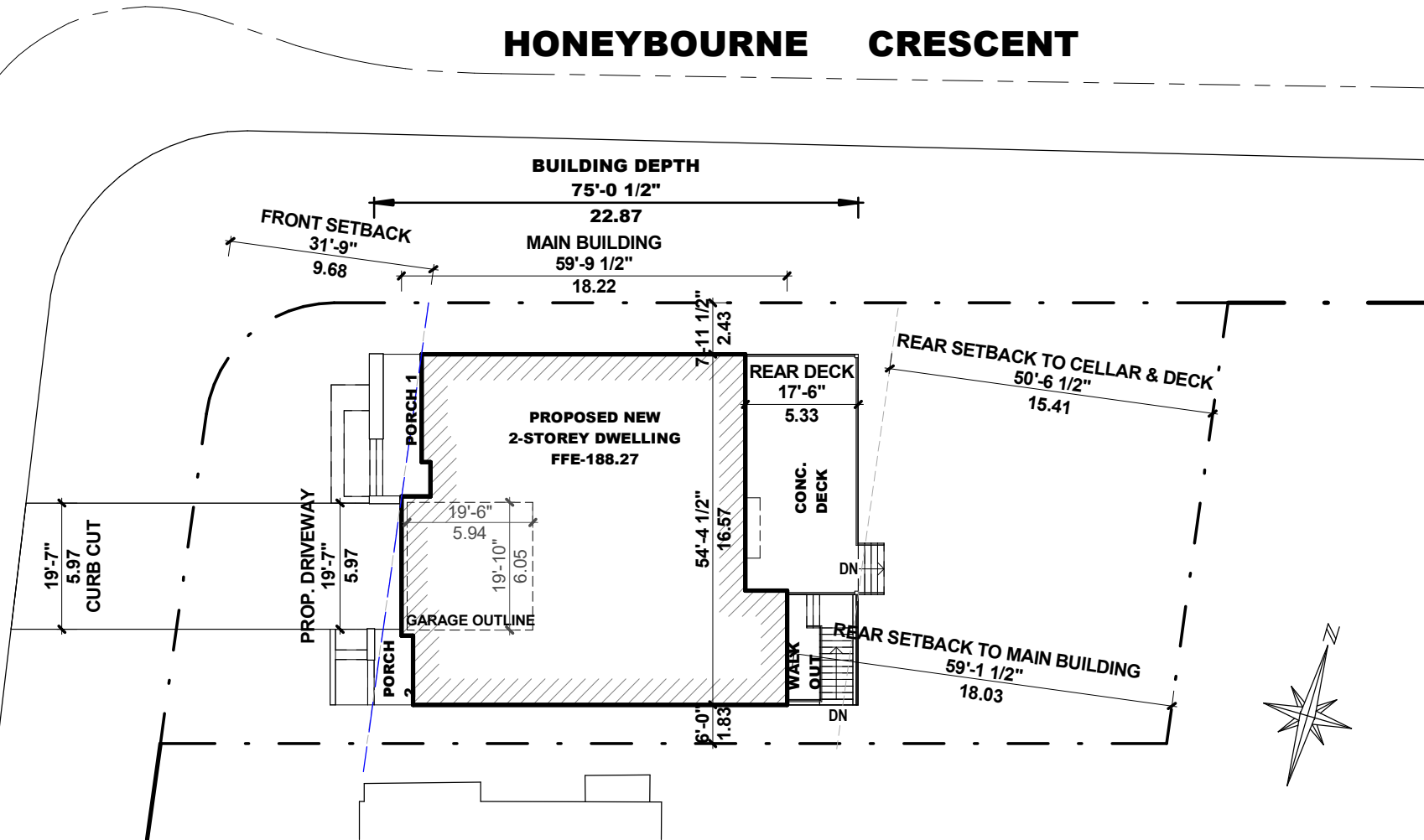
Yard Analysis

	Metric
Front Yard Area	194.02 m²
Hard Landscape	24.26 m² 12.5 %

Building Area Analysis

	Metric	Imperial
Lot Coverage % 33.7	332.10 m²	3574.74 ft²
1st Floor	233.53 m²	2514 ft²
2nd Floor	228.02 m²	2454 ft²
GARAGE	35.93 m²	387 ft²
Gross Floor Area(GFA)	497.48 m²	5355 ft²
Cellar	284.69 m²	3064 ft²
Floor Space Index(FSI)	62.3	
Provided Parking Spaces	2	

HONEYBOURNE CRESCENT



Appendix B

File: 25.110402.000.00.MNV

Date: 4/25/2025
MM/DD/YYYY

Project:
25 Honeybourne Cres.
MARKHAM ONTARIO

Submission Chart			
No.	Date:	Issued For:	By:
1	24-07-24	CLIENT REVIEW	
2	24-10-15	ZONING REVIEW	
3	24-10-23	ZONING REVIEW	
4	25-01-08	AS PER CITY	
5			
6			
7			
8			
9			

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HYPHEN STUDIO

3429 Yonge St., Toronto, ON, M4N 2N1
info@Hyphenstudio.co
(+1)647-869-9356 (+1)647-9796879

Sheet Title:
SITE ANALYSIS

Drawn: ARCH	Sheet No:
Checked: Checker	
Project No: 24-332	
Date: JUL 2024	
Scale: As indicated	

A00-00

HONEYBOURNE CRESCENT

HONEYBOURNE CRESCENT

PIN 02913-0128

Appendix B

File: 25.110402.000.00.MNV

Date: 4/25/2025
MM/DD/YYYY

Project:

25 Honeybourne Cres.
MARKHAM ONTARIO

Submission Chart

No.	Date:	Issued For:	By:
1	24-10-15	ZONING REVIEW	
2	24-10-23	ZONING REVIEW	
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Sheet Title:

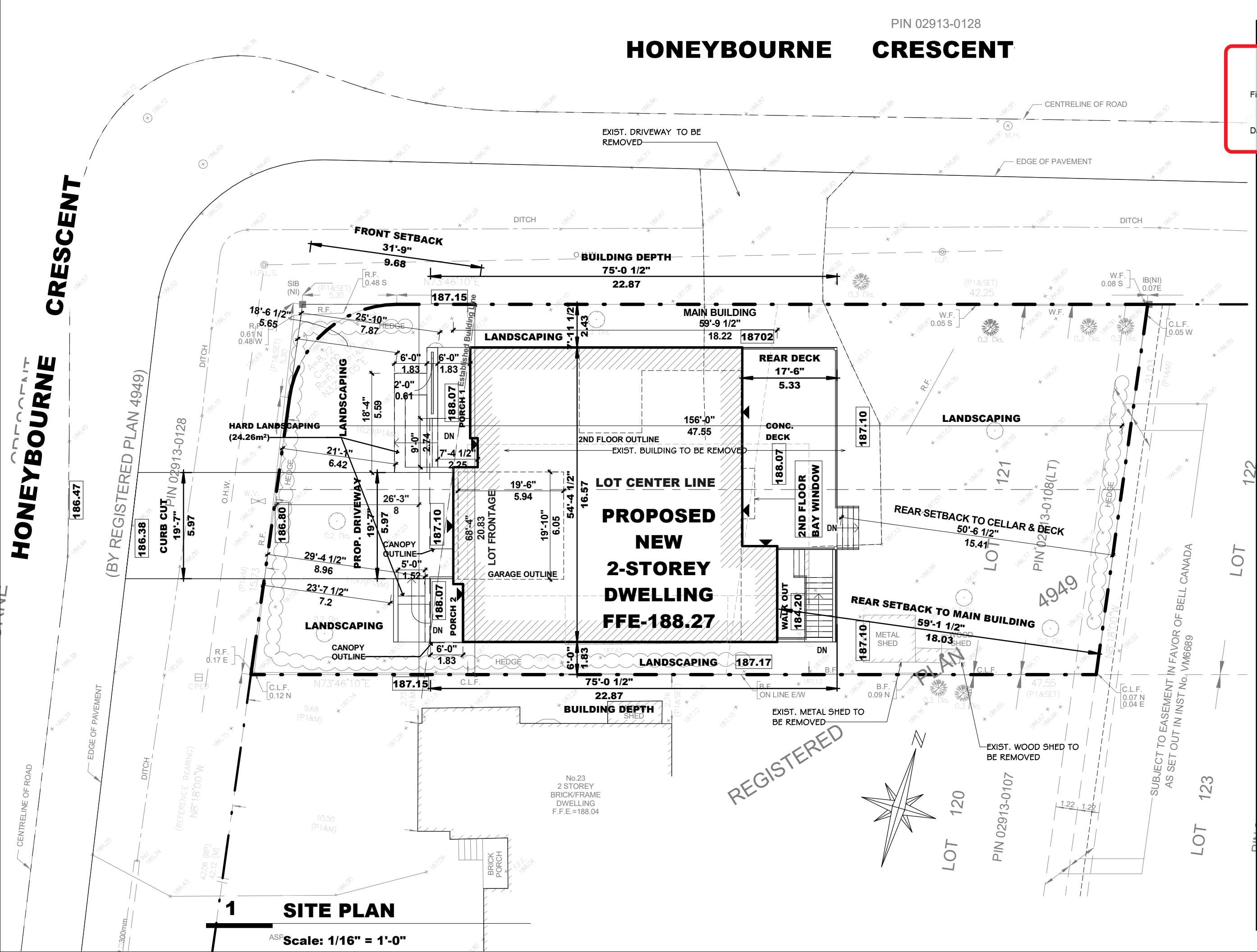
SITE PLAN

Drawn:	ARCH	Sheet No:
Checked:	Checker	
Project No:	24-332	
Date:	JUL 2024	
Scale:	As indicated	

A01-00

1 SITE PLAN

Scale: 1/16" = 1'-0"



Appendix B

File: 25.110402.000.00.MNV
Date: 4/25/2025
MM/DD/YYYY



1 EAST ELEVATION

Scale:1 : 75

Project: 25 Honeybourne Cres.
MARKHAM ONTARIO

Submission Chart			
No.	Date:	Issued For:	By:
1	24-10-02	CLIENT REVIEW	
2	24-10-15	ZONING REVIEW	
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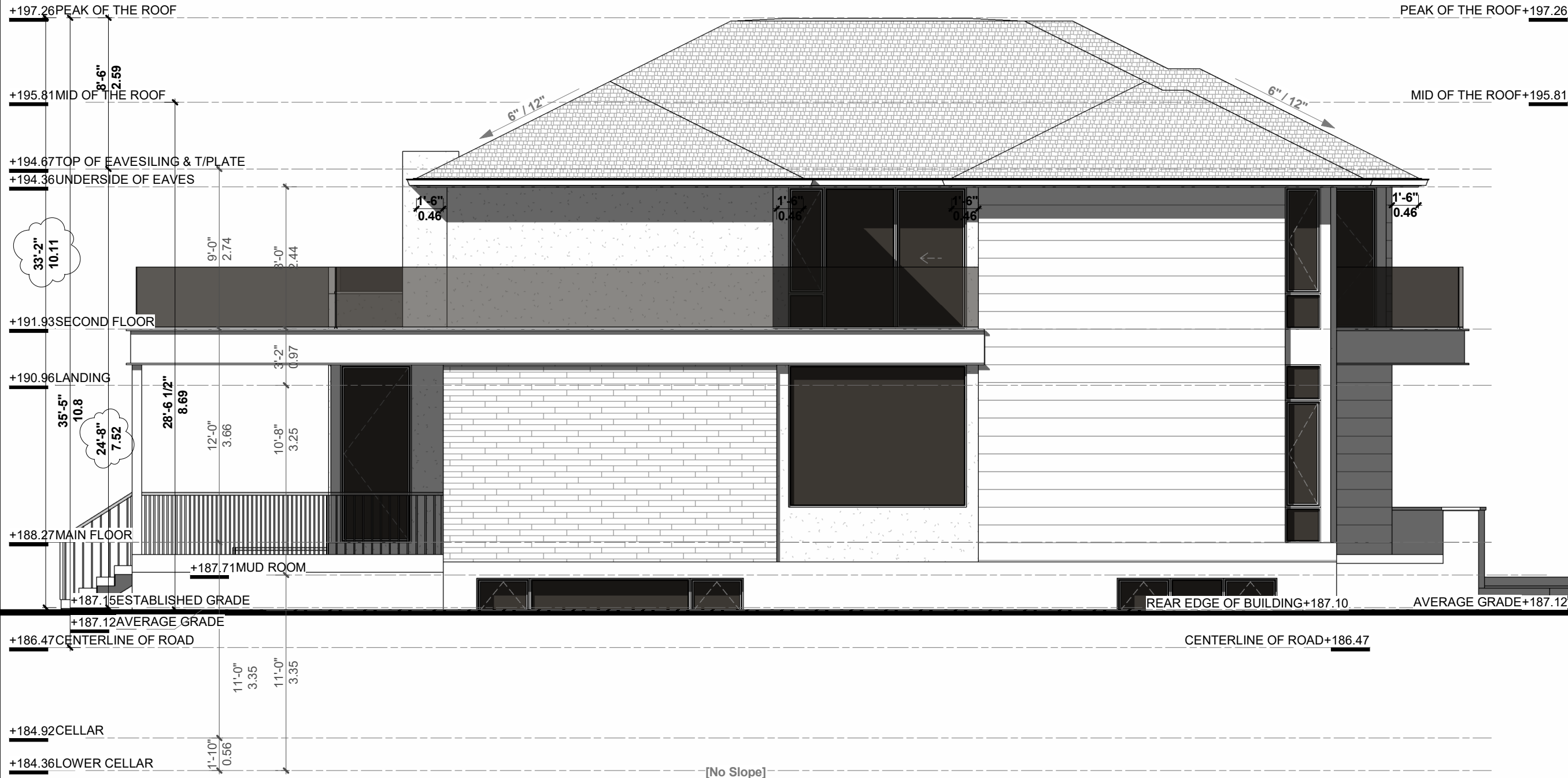
3429 Yonge St., Toronto, ON, M4N 2N1
info@Hyphenstudio.co
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Sheet Title: REAR ELEVATION

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Checked: Checker
Project No: 24-332
Date: JUL 2024
Scale: 1 : 75
Sheet No: A02-02

Appendix B

File: 25.110402.000.00.MNV
Date: 4/25/2025
MM/DD/YYYY



Project: 25 Honeybourne Cres.
MARKHAM ONTARIO

Submission Chart			
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3	24-10-23	ZONING REVIEW	
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Sheet Title: SIDE ELEVATION

Drawn: ARCH
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Project No: 24-332
Date: JUL 2024
Scale: 1 : 75
Sheet No: A02-03

Appendix B

File: 25.110402.000.00.MNV
Date: 4/25/2025
MM/DD/YYYY



Project: 25 Honeybourne Cres.
MARKHAM ONTARIO

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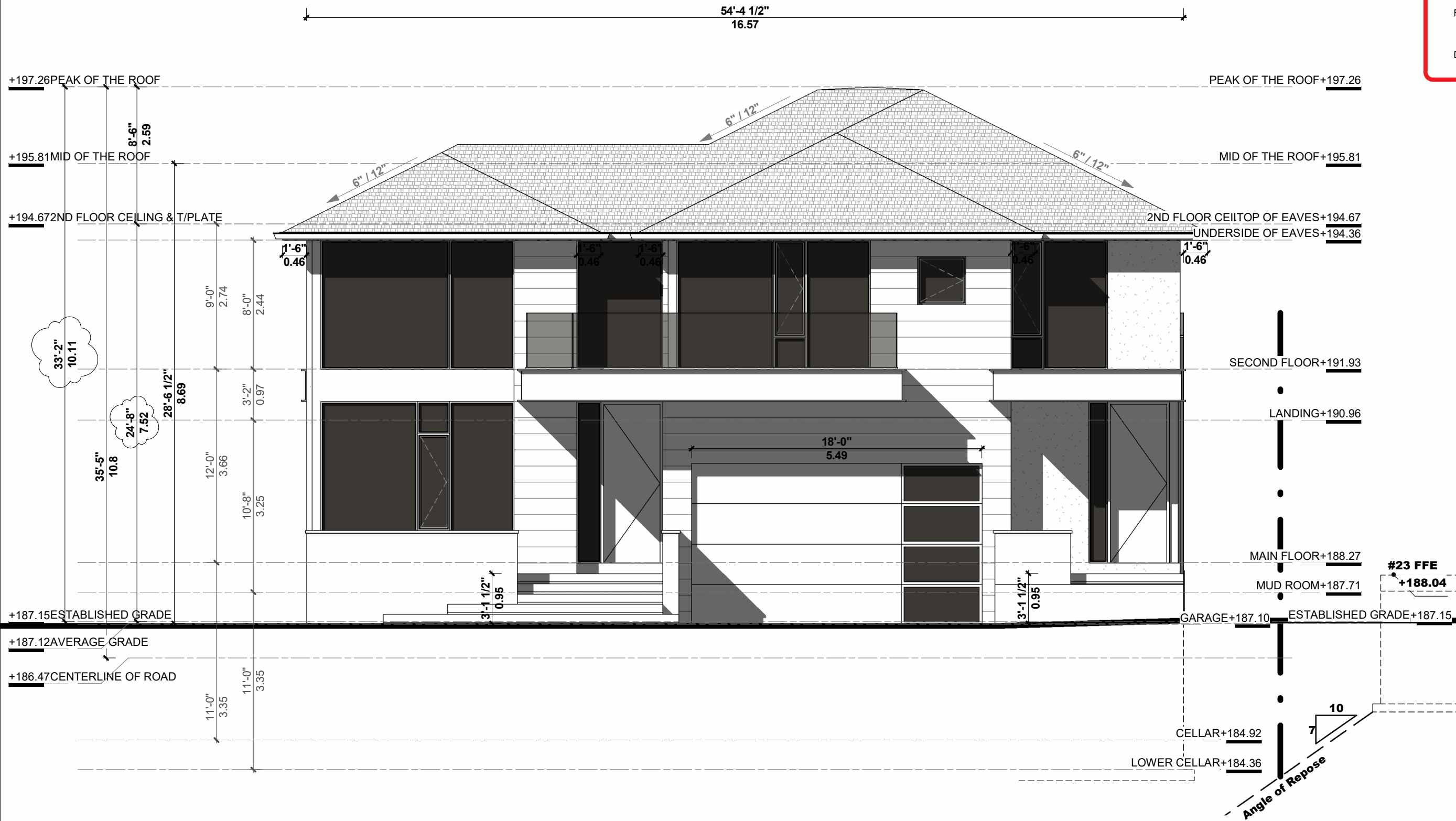
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Sheet Title: SIDE ELEVATION

Drawn: ARCH
Checked: Checker
Project No: 24-332
Date: JUL 2024
Scale: 1 : 75
Sheet No:
A02-04

Appendix B

File: 25.110402.000.00.MNV
Date: 4/25/2025
MM/DD/YYYY



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MARKHAM ONTARIO

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Sheet Title: MAIN ELEVATION

Drawn: ARCH
Checked: Checker
Project No: 24-332
Date: JUL 2024
Scale: 1 : 75
Sheet No: A02-01

Appendix B

File: 25.110402.000.00.MNV

Date: 4/25/2025

SURVEYOR'S REVIEW PROPERTY REPORT
PART 1 - PLAN OF SURVEY MM/DD/YYYY

REGISTERED PLAN 4949
CITY OF MARKHAM
REGIONAL MUNICIPALITY OF YORK

SCALE 1:200

3m 1.5 0 3 6 9 12 15 METRES

MANDARIN SURVEYORS LIMITED, O.L.S. ©

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- IB DENOTES IRON BAR
- SIB DENOTES SHORT IRON BAR
- RIP DENOTES ROUND IRON PIPE
- RP DENOTES REGISTERED PLAN 4949
- P1 DENOTES PLAN OF SURVEY BY W. S. GIBSON & SONS, O.L.S.
- P2 DATED AUGUST 21, 1957
- P2 DENOTES PLAN OF SURVEY BY W. S. GIBSON & SONS, O.L.S.
- DATED NOVEMBER 1, 1957
- PIN DENOTES PROPERTY IDENTIFIER NUMBER
- M DENOTES MEASURED
- F.F.E. DENOTES FINISHED FLOOR ELEVATION
- N,S,E,W DENOTES NORTH, SOUTH, EAST, WEST
- B.F. DENOTES BOARD FENCE
- C.L.F. DENOTES CHAIN LINK FENCE
- R.F. DENOTES RAIL FENCE
- W.F. DENOTES WIRE FENCE
- INV DENOTES INVERT
- OU DENOTES ORIGIN UNKNOWN
- NI DENOTES NOT IDENTIFIABLE
- O.H.W. DENOTES OVERHEAD WIRES
- U.P. DENOTES UTILITY POLE
- U.P.L.S. DENOTES UTILITY POLE LIGHT STANDARD
- W.V. DENOTES WATER VALVE
- F.H. DENOTES FIRE HYDRANT
- M.H. DENOTES MAN HOLE
- C.B. DENOTES CATCH BASIN
- OPED DENOTES T.V. PEDESTAL
- CT DENOTES CONIFEROUS TREE
- DT DENOTES DECIDUOUS TREE

ALL TIES TO CONCRETE FOUNDATION, UNLESS NOTED OTHERWISE.
BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE
EASTERLY LIMIT OF HONEYBOURNE CRESCENT AS SHOWN ON REGISTERED PLAN
4949, HAVING A BEARING OF N8°18'00"W.

BENCHMARK NOTE

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE CITY
OF MARKHAM BENCHMARK No.M-33-023, HAVING AN ELEVATION OF 188.836 M.
DATUM: CGVD28:PRE78, BRASS TABLET SET IN WEST WALL OF JAMES
ROBINSON PUBLIC SCHOOL AT SOUTHWEST CORNER. TABLET IS 24.2 M EAST OF
THE CENTRELINE OF GALSWORTHY DRIVE, 45.3 M NORTH OF THE CENTRELINE
OF ROBINSON STREET. 2.3 M NORTH OF THE SOUTHWEST CORNER OF SCHOOL
BUILDING, 0.8 M BELOW BRICK AND 0.74 M ABOVE GRADE.

PART 2 (SURVEY REPORT)

1. REGISTERED EASEMENTS AND/OR RIGHT OF WAYS: SUBJECT TO AN
EASEMENT IN FAVOR OF BELL CANADA AS SET OUT IN INST No. VM6689.
2. ADDITIONAL COMMENTS: NOTE THE LOCATION OF THE FENCES AROUND
THE NORTHERLY, SOUTHERLY, EASTERLY AND WESTERLY LIMITS OF THE
SUBJECT PROPERTY. NOTE ALSO THE LOCATION OF OVERHEAD WIRE.
3. THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

THIS REPORT WAS PREPARED FOR LYNN LE AND THE UNDERSIGNED
ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE
REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 27th DAY OF MARCH, 2021

APRIL 7, 2021
DATE

Z. ZENG

ONTARIO LAND SURVEYOR

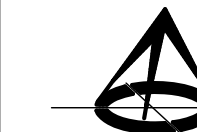
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WWW.MANDARINSURVEYOR.COM
2400 MIDLAND AVENUE #121 PHONE: (647)430-1366 FAX: (647)799-4068
TORONTO, ONTARIO, M1S 1X7 E-MAIL: MANDARINSURVEYOR@GMAIL.COM

SURVEY BY: S.Z.

CAD No: 21-103SRPR

JOB No: 2021-103

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2164725



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UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR.
In accordance with
Regulation 1026, Section 29(3)

PIN 02913-0128

HONEYBOURNE

CRESCENT

