

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

LEGEND		
FFE	FINISHED FLOOR ELEVATION	SP SUMP PUMP
TFW	TOP OF FOUNDATION WALL	BP BELL PEDESTAL
TBS	TOP OF BASEMENT SLAB	CP CABLE PEDESTAL
USF	UNDER SIDE FOOTING	CB CATCH BASIN
USFR	UNDER SIDE FOOTING @ REAR	DBL CATCH BASIN
USFG	UNDER SIDE FOOTING @ GARAGE	ENG ENGINEERED FILL
TEF	TOP OF ENGINEERED FILL	HC HYDRO CONNECTION
R	NUMBER OF RISERS TO GRADE	FH FIRE HYDRANT
WOD	WALKOUT DECK	SL STREET LIGHT
LOB	LOOKOUT BASEMENT	MB MAIL BOX
WOB	WALK OUT BASEMENT	TR TRANSFORMER
WUB	WALK UP BASEMENT	SC SEWER CONNECTIONS 2 LOTS
REV	REVERSE PLAN	SL SEWER CONNECTIONS 1 LOT
STD	STANDARD PLAN	WC WATER CONNECTION
△	DOOR	WV WATER VALVE CHAMBER
○	WINDOW	HD HYDRANT AND VALVE
AC	AIR CONDITIONING	HM HYDRO METER
DS	DOWN SPOUT TO SPLASH PAD	GM GAS METER
DS	DOWNSPOUT CONNECTED TO STM	MS MANHOLE - STORM
→	SWALE DIRECTION	MS MANHOLE - SANITARY
---	CHAINLINK FENCE	
---	PRIVACY FENCE	
---	SOUND BARRIER	
---	FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE	

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1.	ISSUED FOR C OF A	10-FEB-25	AG	
2.	REVISED PER CITY COMM - FINAL	31-MAR-25	AG	
3.	REV PER LATEST LANDSCAPE PLAN	08-APR-25	AG	



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WWW.THEPLUSGROUP.CA

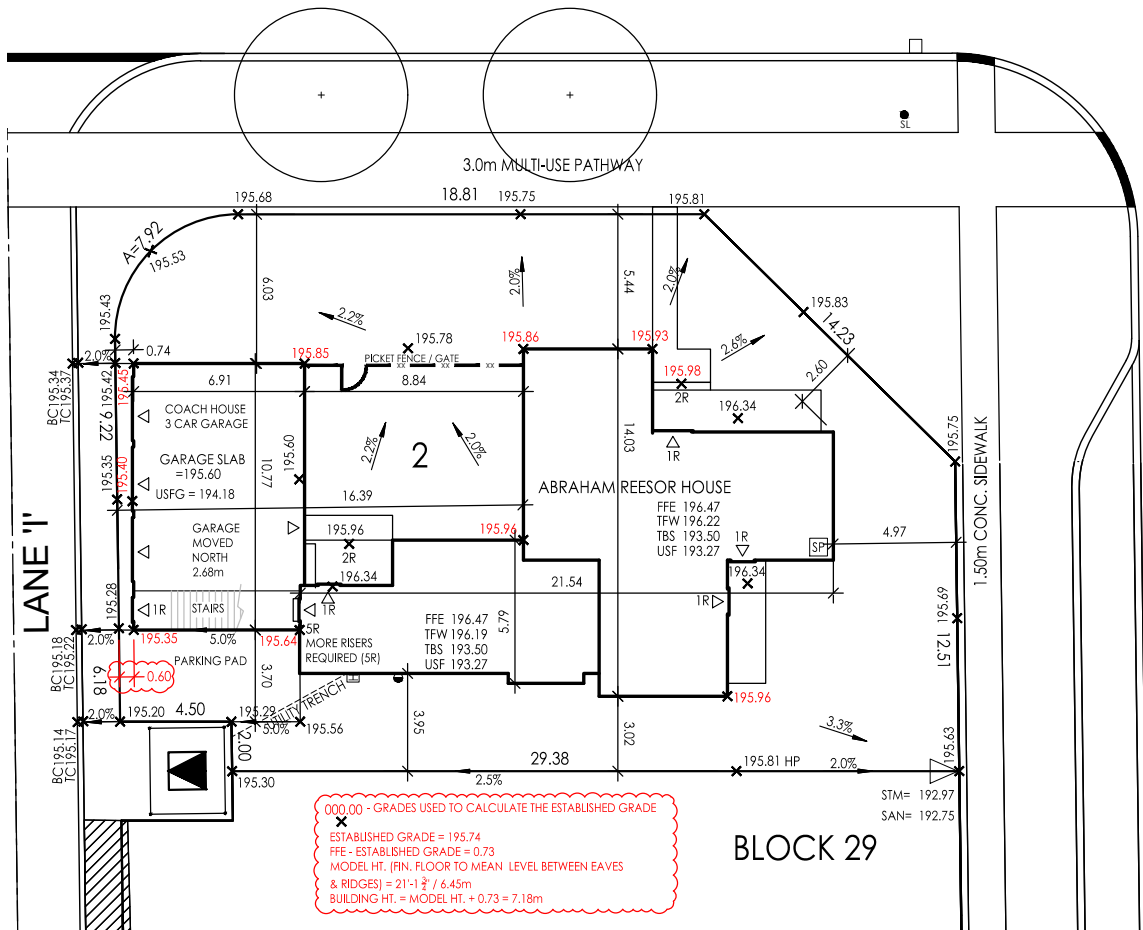
I, ARTHUR PUI YAN LAW DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
QUALIFIED DESIGNER BCIN: 41230
FIRM BCIN: 26995
DATE: APRIL, 1, 2025
SIGNATURE: 

CLIENT LINDWIDE DEVELOPMENTS	
PROJECT/LOCATION CORNELL CITY OF MARKHAM	
DRAWING SITE PLAN	
DRAWN BY AG	SCALE 1:300
PROJECT NO. 19090	LOT NUMBER LOT 2

ZONING SUMMARY - ABRAHAM REESOR HOUSE (ZONE: R2-LA*657)		
ITEM	REQUIRED	PROPOSED
MIN. LOT FRONTAGE	7.0 m	20.51 m
MIN. REQUIRED FRONT YARD	3.0 m	4.97 m
MIN. REQUIRED EXT. SIDE YARD	2.4 m	5.44 m
MIN. REQUIRED INT. SIDE YARD	1.2 m & 0.6 m	3.02 m
MIN. REQUIRED REAR YARD	13.0 m	0.60 m
MIN. WIDTH OF PARKING PAD	2.5 m	3.7 m
	PERMITTED	PROVIDED
MAX. BUILDING HEIGHT	14.0 m (MAX. 3 STOREYS)	7.18 m
OTHER STATISTICS		
LOT AREA m2	697.78 m2	
BUILDING AREA (m2)	242.67 m2	
LOT COVERAGE (%)	34.78%	

- MINOR VARIANCE REQUIRED

ROMEO De GASPERIS AVENUE



MARKHAM VETERAN'S STREET

W Architect Inc.

DESIGN CONTROL REVIEW

APR. 10, 2025

FINAL RECERT BY: 


This stamp is only for the purposes of design control and carries no other professional obligations.

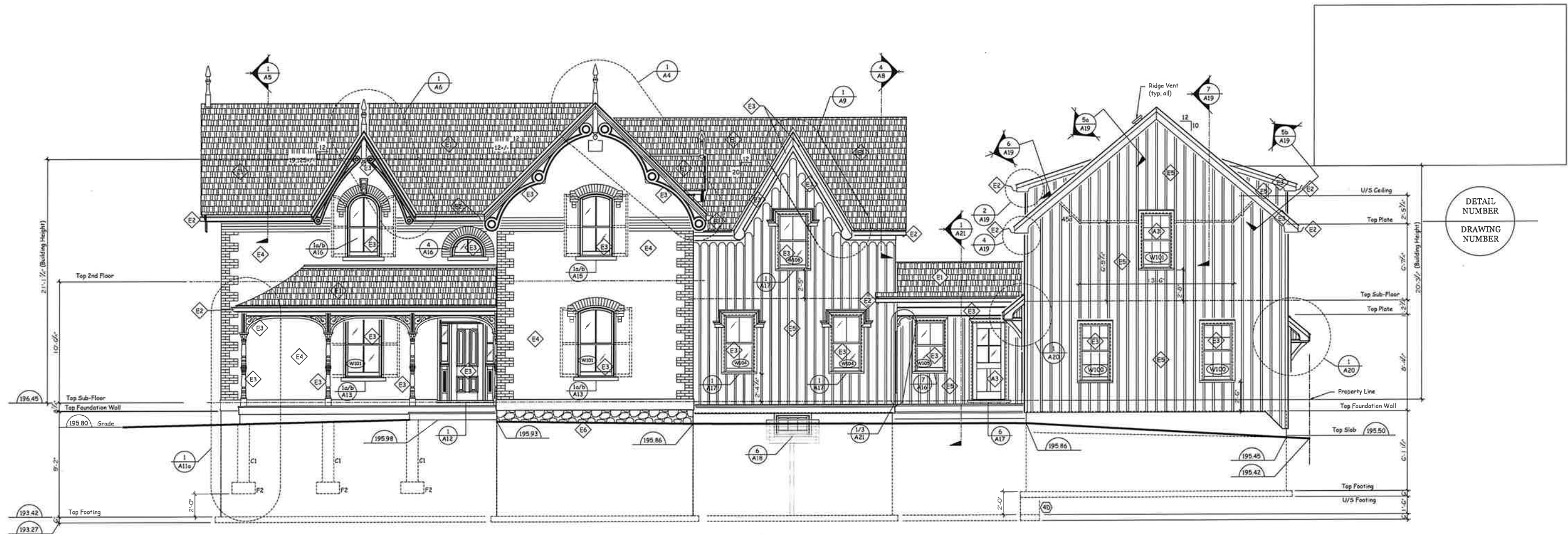
LOT GRADING

wsp

REVIEWED	<input checked="" type="checkbox"/>
REVIEWED AS MODIFIED	<input type="checkbox"/>
REVISE AND RE-SUBMIT FOR REVIEW	<input type="checkbox"/>
NOT REVIEWED	<input type="checkbox"/>

This review by the undersigned is for the sole purpose of ascertaining conformance with the general grading concept, but no approval is given or responsibility assumed by the undersigned for correctness of dimensions or details or conformity to zoning by-law, which remain the responsibility of the architect.
Builder to verify lateral elevations prior to digging foundation.

Date APR. 10, 2025 By 



North Elevation
Scale: 1/4"=1'-0"

Note:

All Identified Existing Exterior Woodwork to be Restored.
Scrape, Sand, fill and Make Ready for New Paint Fin.
Priority Restoration Approach as Follows:
1) Restore Existing where Existing Wood Substrate is materially sound,
2) Repair Existing where Existing Wood Substrate has partial decay,
3) Replace Existing to Match where Existing Wood Substrate shows
Significant decay or will not Support a Finish.

"ARH" EXTERIOR FINISH SCHEDULE
SYMBOL DESCRIPTION

- E1 New #300 Asphalt Shingles By IKO
Cambridge Series c/w all Pre-fin
Flashings, Trims and Fittings as Req'd
- E2 New Pre-Fin. Alum. Fascia, Soffit, Eaves Trough and RWL
As Per Elevations as Required.
Colour by Owner, Approved by Heritage Markham.
- E3 Exterior Paint Finish, Paint 3 coat work.
1 Primer, 2 Finish.
Primer - Benjamin Moore - "Fresh Start"
Finish - Benjamin Moore - "Aura Collection"
Colour by Owner, Approved by Heritage Markham.
- E4 Existing 8-1/4" L X 2-1/2" H X 4" D Brick Masonry Units
C/W 3/8" H +/- Masonry Joints to remain. Repair and
Replace Defective Masonry units as Required to Match
Existing.
Pre-mix Mortar by "King HLM 350". Install and cure
Mortar as per Manufacturers Specifications. Mortar
Colour to Match Existing.
- E5 New Pre-Finished "1 X 10 Vertical Board and 2"W
Batten Wood Siding" By "LP Siding Systems".
To Be Selected By Owner, Approved by Heritage
Markham.
- E6 4" THK Fieldstone Veneer, Coursed Rubble Pattern.
Split Face, Not Fully Dressed. Mortar by "King HLM 500".
Install and Cure Mortar as per Manufacturers Specifications.
Mortar Colour to Match Existing.

NOTE TO FRAMER: Confirm Exterior wall Stud Layout with
"LP Siding System" Installer's Panel and
Batten positioning requirements.



West Elevation
Scale: 1/4"=1'-0"

3	Issued for Client Approval	29 / 11 / 2024
2	Issued for Client Approval	29 / 11 / 2024
1	Issued for Client Approval	12 / 06 / 2023

No.	Description	Date
-----	-------------	------

The undersigned has reviewed and takes responsibility for
this design, and has the qualifications and meets the
requirements set out in the Ontario Building Code to be a
designer

QUALIFICATION INFORMATION

Scott Rushlow		20756
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd	35924
FIRM	BCIN

SCOTT RUSHLOW
associates Ltd

111-111 Upper Duke Cres Markham ON L6G 0C8 905 852 5395

PROJECT

"Abraham Reesor House"
C/O Lindwide Developments (Cornell) Limited
#82 Markham Veteran's Street
Markham, Ontario

DRAWING TITLE

Exterior Elevations

Scale: 1/4"=1'-0"	DRAWING NO.
Date: Nov. 29, 2024	
Job No.	
Drawn By: S.R.	
Checked By:	

A1

Note;
All Identified Existing Exterior Woodwork to be Restored,
Scrape, Sand, Fill and Make Ready for New Paint Fin.
Priority Restoration Approach as Follows;
1) Restore Existing where Existing Wood Substrate is materially sound,
2) Repair Existing where Existing Wood Substrate has partial decay,
3) Replace Existing to Match where Existing Wood substrate shows
Significant decay or will not Support a Finish.

"ARH" EXTERIOR FINISH SCHEDULE
SYMBOL DESCRIPTION

E1 New #300 Asphalt Shingles By IKO
 Cambridge Series c/w all Pre-Fin
 Flashings, Trims and Fittings as Req'd

E2 New Pre-Fin. Alum. Fascia, Soffit, Eaves Trough and RWL
 As Per Elevations as Required.
 Colour by Owner, Approved by Heritage Markham.

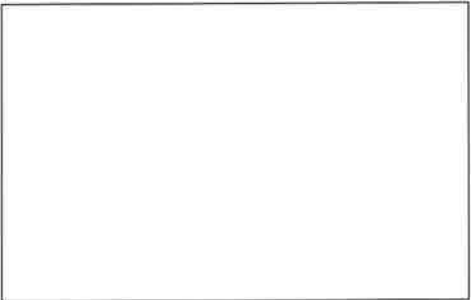
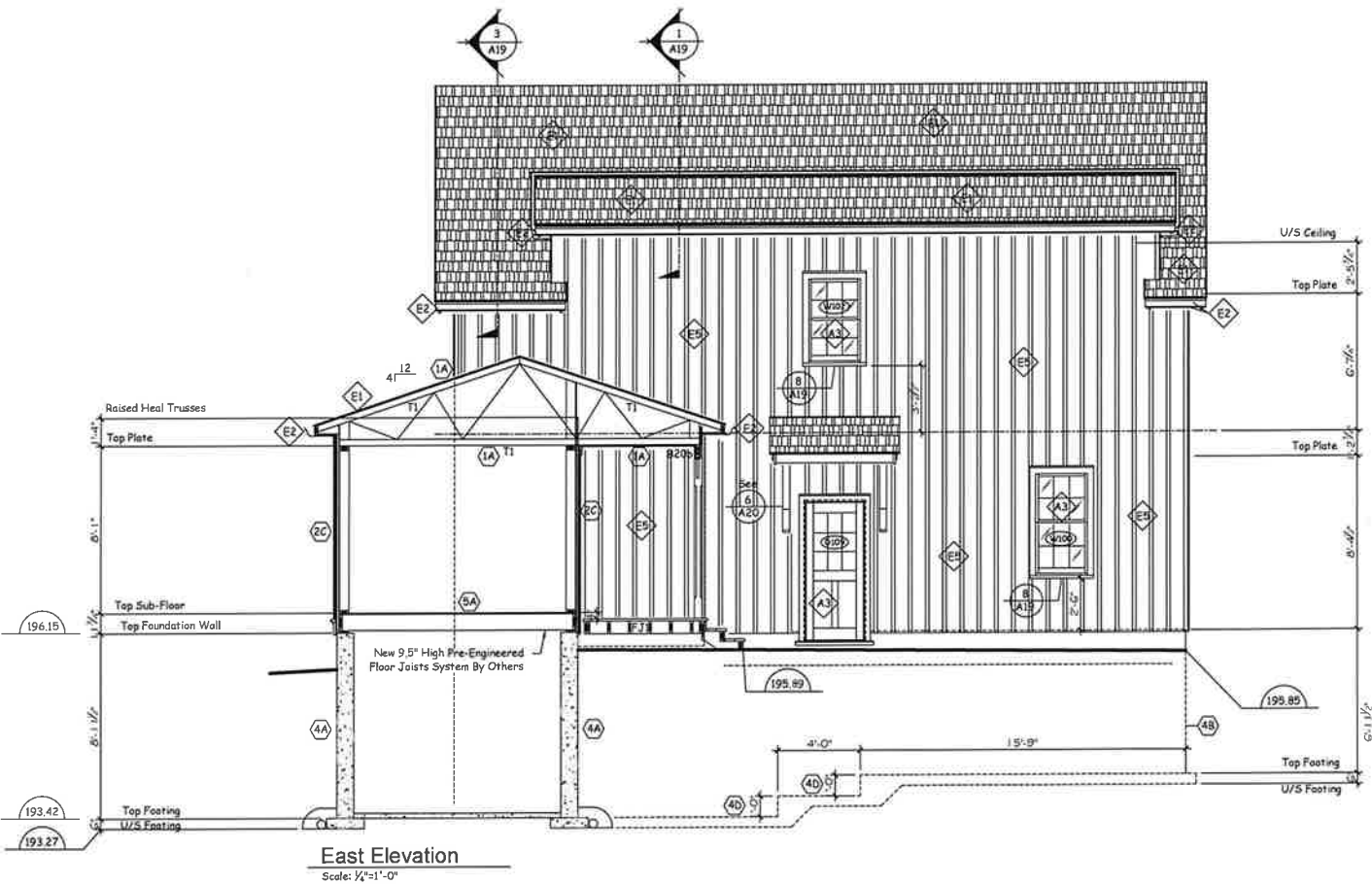
E3 Exterior Paint Finish. Paint 3 coat work.
 1 Primer, 2 Finish.
 Primer - Benjamin Moore - "Fresh Start"
 Finish - Benjamin Moore - "Aura Collection"
 Colour by Owner, Approved by Heritage Markham.

E4 Existing 8-1/4"L X 2-1/2"H X 4"D Brick Masonry Units
 C/W 3/4"H +/- Masonry Joints to remain. Repair and
 Replace Defective Masonry units as Required to Match
 Existing.
 Pre-mix Mortar by "King HLM 350". Install and cure
 Mortar as per Manufacturers Specifications. Mortar
 Colour to Match Existing.

E5 New Pre-Finished "1 X 10 Vertical Board and 2"W
 Batten Wood Siding" By "LP Siding Systems".
 To Be Selected By Owner, Approved by Heritage
 Markham.

E6 4" THK Fieldstone Veneer, Coursed Rubble Pattern,
 Split Face, Not Fully Dressed. Mortar by "King HLM 500".
 Install and Cure Mortar as per Manufacturers Specifications.
 Mortar Colour to Match Existing.

NOTE TO FRAMER: Confirm Exterior wall Stud Layout with
"LP Siding System" Installer's Panel and
Batten positioning requirements.



DETAIL
NUMBER

DRAWING
NUMBER

3	Issued for Client Approval	29 / 11 / 2024
2	Issued for Client Approval	25 / 11 / 2024
1	Issued for Client Approval	12 / 06 / 2023

No.	Description	Date
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The undersigned has reviewed and takes responsibility for
this design, and has the qualifications and meets the
requirements set out in the Ontario Building Code to be a
designer

QUALIFICATION INFORMATION		
Scott Rushlow		39725
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION		
Scott Rushlow Associates Ltd		35924
FIRM		BCIN

SCOTT RUSHLOW
associates Ltd
111-111 Upper Duke Cres Markham ON L6G 0C8 905 852 5595

PROJECT

"Abraham Reesor House"

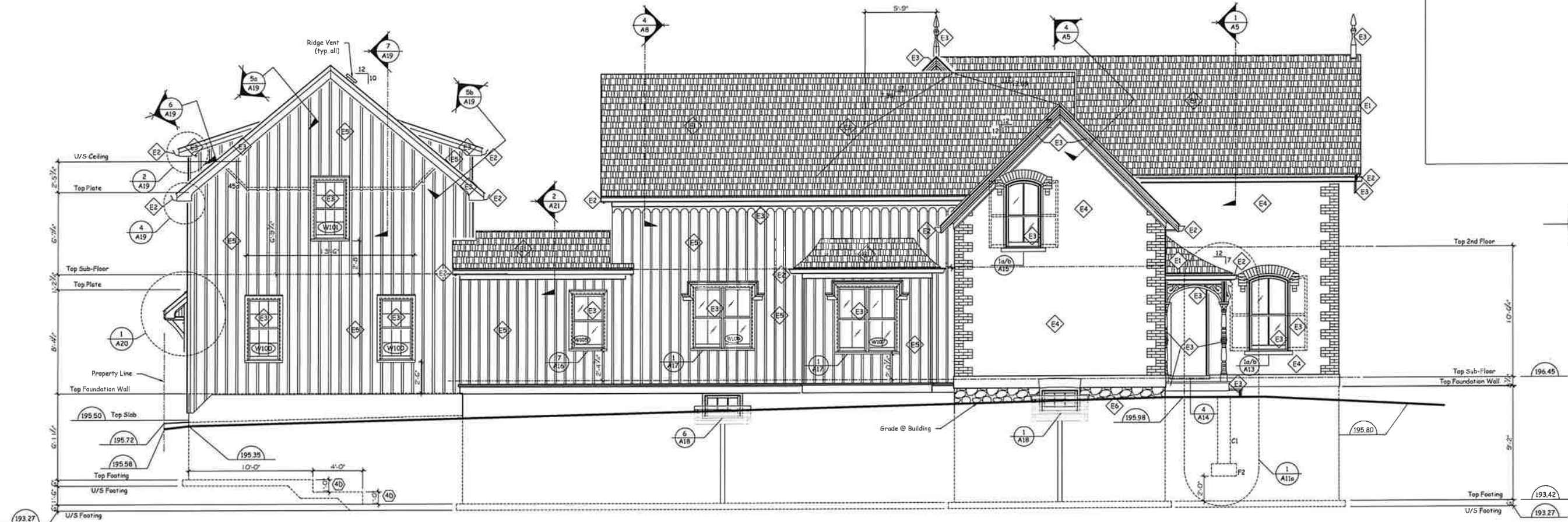
C/O Lindwide Developments (Cornell) Limited
#82 Markham Veteran's Street
Markham, Ontario

DRAWING TITLE

Exterior Elevations

Scale: 1/4"=1'-0"	DRAWING NO.
Date: Nov. 29, 2024	
Job No.	
Drawn By: S.R.	
Checked By:	

A2



South Elevation

Scale: 1/4"=1'-0"

Note:

All Identified Existing Exterior Woodwork to be Restored.
Scrape, Sand, Fill and Make Ready for New Paint Fin.
Priority Restoration Approach as Follows:
1) Restore Existing where Existing Wood Substrate is materially sound,
2) Repair Existing where Existing Wood Substrate has partial decay,
3) Replace Existing to Match where Existing Wood substrate shows
Significant decay or will not Support a Finish.

"ARH" EXTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION
E1	New #300 Asphalt Shingles By IKO Cambridge Series c/w all Pre-fin Flashings, Trims and Fittings as Req'd
E2	New Pre-Fin, Alum. Fascio, Soffit, Eaves Trough and RWL As Per Elevations as Required. Colour by Owner, Approved by Heritage Markham.
E3	Exterior Paint Finish, Paint 3 coat work, 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aure Collection" Colour by Owner, Approved by Heritage Markham.
E4	Existing 8-1/4" X 2-1/2" X 4" D Brick Masonry Units C/W 3/8" +/- Masonry Joints to remain. Repair and Replace Defective Masonry units as Required to Match Existing. Pre-mix Mortar by "King HLM 350". Install and cure Mortar as per Manufacturers Specifications. Mortar Colour to Match Existing
E5	New Pre-Finished "1 X 10 Vertical Board and 2" W Batten Wood Siding" By "LP Siding Systems". To Be Selected By Owner, Approved by Heritage Markham.
E6	4" THK Fieldstone Veneer, Coursed Rubble Pattern. Split Face, Not Fully Dressed. Mortar by "King HLM 500". Install and Cure Mortar as per Manufacturers Specifications. Mortar Colour to Match Existing.

NOTE TO FRAMER: Confirm Exterior wall Stud Layout with "LP Siding System" Installer's Panel and Batten positioning requirements.



East Elevation

Scale: 1/4"=1'-0"

3	Issued for Client Approval	29 / 11 / 2024
2	Issued for Client Approval	25 / 11 / 2024
1	Issued for Client Approval	12 / 06 / 2023

No.	Description	Date
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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Scott Rushlow		29726
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION

Scott Rushlow Associates Ltd	35924
FIRM	BCIN

SCOTT RUSHLOW
associates Ltd

111-111 Upper Duke Cres Markham ON L6G 0C9 905 852 5595

PROJECT

"Abraham Reesor House"
C/O Lindwide Developments (Cornell) Limited
#82 Markham Veteran's Street
Markham, Ontario

DRAWING TITLE

Exterior Elevations

Scale: 1/4"=1'-0"	DRAWING NO.
Date: Nov, 29, 2024	
Job No.	
Drawn By: S.R.	
Checked By:	

A3