25 HONEYBOURNE CRES.

LOT 121 REGISTERED PLAN 4949 CITY OF MARKHAM (Regional Municipality of York)

THE INFORMATION FOR THIS SITE PLAN HAS BEEN OBTAINED FROM A COPY OF A SURVEY PLAN PREPARED BY MANDARIN SURVEYORS DATED APRIL 07, 2021. THE INFORMATION SHOWN HEREON, INCLUDING GRADES SHALL NOT BE USED FOR ANY LEGAL / ZONING / OR CONSTRUCTION PURPOSE WITHOUT CONFIRMING THE ACCURACY THEREOF BY REFERENCE TO THE APPLICABLE SURVEY.

GENERAL SITE INFORMATION

- REFER TO ALL APPLICABLE LANDSCAPING & SEPTIC SYSTEM PLANS & SPECIFICATIONS TO BE SUPPLIED BY OWNER FOR ADDITIONAL, DETAILED SITE RELATED WORKS AND INFORMATION.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION AND CONNECTION FEES AND PERMITS REQUIRED FOR BUILDING SERVICES, INCLUDING ENTRANCES, HYDRO, WELL, SEPTIC, TELEPHONE, ETC. AS WELL AS THE INSTALLATION OF SUCH BUILDING SERVICES.
- -ALL ENTRANCE AND EXIT RAMPS ACROSS BOULEVARDS SHALL BE PAVED OR OTHERWISE FINISHED TO APPLICABLE MUNICIPAL STANDARDS AND SPECIFICATIONS.
- WHERE PAVING IS INDICATED, ALL DRIVE AND PARKING SURFACES SHALL BE PAVED WITH 100mm HOT MIXED, HOT LAID, ASPHALT (25mm HL3) & (75mm HL8) ON MINIMUM 150mm GRANULAR "A" & 300mm GRANULAR "B".
- ALL FILL & GRAUNULAR MATERIAL UNDER DRIVES, PARKING AREAS, AND SIDEWALKS SHAL BE COMPACTED TO 100% S.P.M.D.D. (MIN. 8" GRANULAR)
- UNLESS OTHERWISE AGREED TO IN WRITING, THE OWNER ASSUMES RESPONSIBILITY FOR THE SUITABILITY OF ALL SOIL CONDITIONS. ALL DESIGNS HAVE BEEN BASED ON THE EXISTING UNDISTURBED SOIL HAVING AN ALLOWABLE BEARING CAPACITY OF 4000 P.S.F.
- ALL UTILITIES WHICH OBSTRUCT ENTRANCES SHALL BE RELOCATED AS REQUIRED TO APPLICABLE AUTHORITIES SPECIFICATIONS.
- ALL SITE WORKS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH CITY OF MARKHAM STANDARDS, SPECIFICATIONS, AND DETAILS WHICH SHALL BE DEEMED TO FORM PART OF THIS SITE PLAN.
- ALL SURFACE DRAINAGE SHALL BE CONFINED WITHIN THE BOUNDRAIES OF THE OWNER'S PROPERTY EXCEPT AS SPECICALLY INDICATED.
 EXISTING GRADING & DRAINGE PATTERNS SHALL NOT BE
- ALTERED OR DISTURBED IN ANY WAY EXCEPT AS SHOWN IN THE AREA OF THE NEW RESIDENCE AND ASSOCIATED DRIVEWAY, ETC.
 MINIMUM SLOPES FOR GRASSED AREAS 1.5%,
 MINIMUM SLOPES FOR PAVED OR SURFACED AREAS 1.0% (EXCEPT AS SHOWN OTHER WISE.)

BUILDING AND ZONING

THE SUBJECT PROPERTY IS ZONED "R1 - RESIDENTIAL, UNDER BY-LAW 1299."

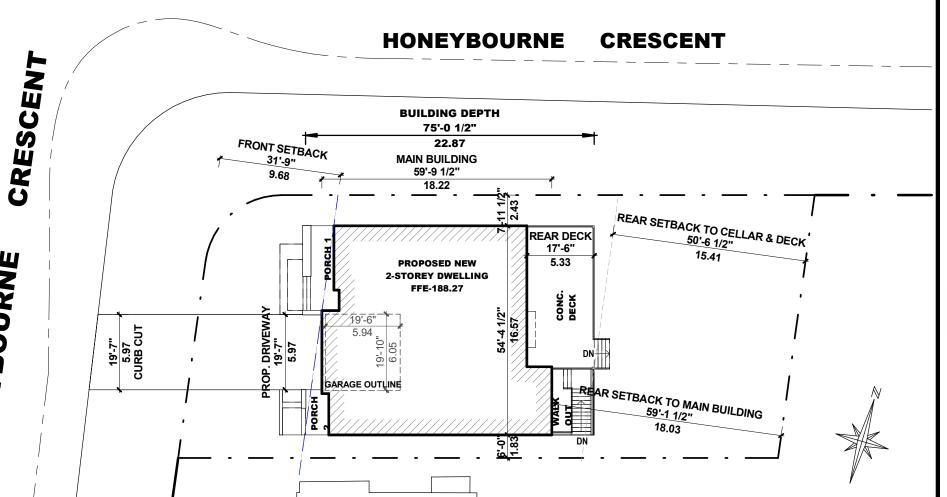
Site Analysis

| Lot Frontage | 20.83 m | |
|----------------------------|-----------------------|------------|
| Lot Area | 984.71m ² | 10600 s.f. |
| Net Lot Area | 798.9 m ² | 8600 s.f. |
| Min Lot Area | 613.16 m ² | 6600 s.f. |
| Average Grade of CL of Roa | nd 186.47 | |
| Establish Grade (187 15 1 | 87 15) 187 15 | |

| Setbacks | Allowed | Proposed |
|---------------------|---------|----------------|
| Front Yard Setback | 9.68 m | 9.68 m |
| Side Setback(North) | 2.4 m | 2.43 m |
| Side Setback(South) | 1.8 m | 1.83 m |
| Rear Yard Setback | 7.5 m | 18.03 m |
| Building Length | 16.8 m | 22.87 m |
| Building Depth | 16.8 m | 22.87 m |
| Building Height | 7- 10 m | (17.52-10.11m) |

| Yard Analysis | Metric |
|-----------------|-----------------------------|
| Front Yard Area | 194.02 m ² |
| Hard Landscape | 24.26 m ² 12.5 % |

| Building Area Analy | sis _{Metric} | Imperial |
|-------------------------|-----------------------|----------------------|
| Lot Coverage % 33.7 | 332.10 m ² | 3574.74 ft² |
| 1st Floor | 233.53 m ² | 2514 ft ² |
| 2nd Floor | 228.02 m ² | 2454 ft ² |
| GARAGE | 35.93 m ² | 387 ft ² |
| Gross Floor Area(GFA) | 497.48 m² | 5355 ft ² |
| Cellar | 284.69 m ² | 3064 ft ² |
| Floor Space Index(FSI) | 62.3 | |
| Provided Parking Spaces | | 2 |





Project:

25 Honeybourne Cres.

| | | MARKHAM (| ONTARIO |
|-----|-------------|---------------|---------|
| Sub | mission Cha | art | |
| No | . Date: | Issued For: | By: |
| 1 | 24-07-24 | CLIENT REVIEW | |
| 2 | 24-10-15 | ZONING REVIEW | |
| 3 | 24-10-23 | ZONING REVIEW | l l |
| 4 | 25-01-08 | AS PER CITY | |
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until signed and sealed by the Architect.

Sheet Title

SITE ANALYSIS

| Drawn: | ARCH | Shee |
|-------------|----------|------|
| Checked: | Checker | |
| Project No: | 24-332 | |
| Date: | JUL 2024 | - |

As indicated

A00-00

LANDTABLE PLAN

Scale:1:300



25 Honeybourne Cres. MARKHAM ONTARIO

| Sub | mission Cha | rt | |
|-----|-------------|---------------|-----|
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| 2 | 24-10-23 | ZONING REVIEW | |
| 3 | 25-01-08 | AS PER CITY | |
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SITE PLAN

| Drawn: | ARCH | Sheet No: |
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| Checked: | Checker | |
| Project No | 24-332 | A 0.4 0.0 |
| Date: | JUL 2024 | A01-00 |
| Scale: | As indicated | |



1 EAST ELEVATION

Scale:1:75

roject:

25 Honeybourne Cres. MARKHAM ONTARIO

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| No. | Date: | Issued For: | By: |
| 1 | 24-10-02 | CLIENT REVIEW | |
| 2 | 24-10-15 | ZONING REVIEW | |
| 3 | 24-10-15 | ZONING REVIEW | |
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REAR ELEVATION

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| Checked: | Checker | |
| Project No: | 24-332 | |
| Date: | 1111 2024 | |

A02-02



[No Slope]

1 NORTH ELEVATION

Scale:1:75

+184.92CELLAR

+184.36LOWER CELLAR

Droject:

25 Honeybourne Cres. MARKHAM ONTARIO

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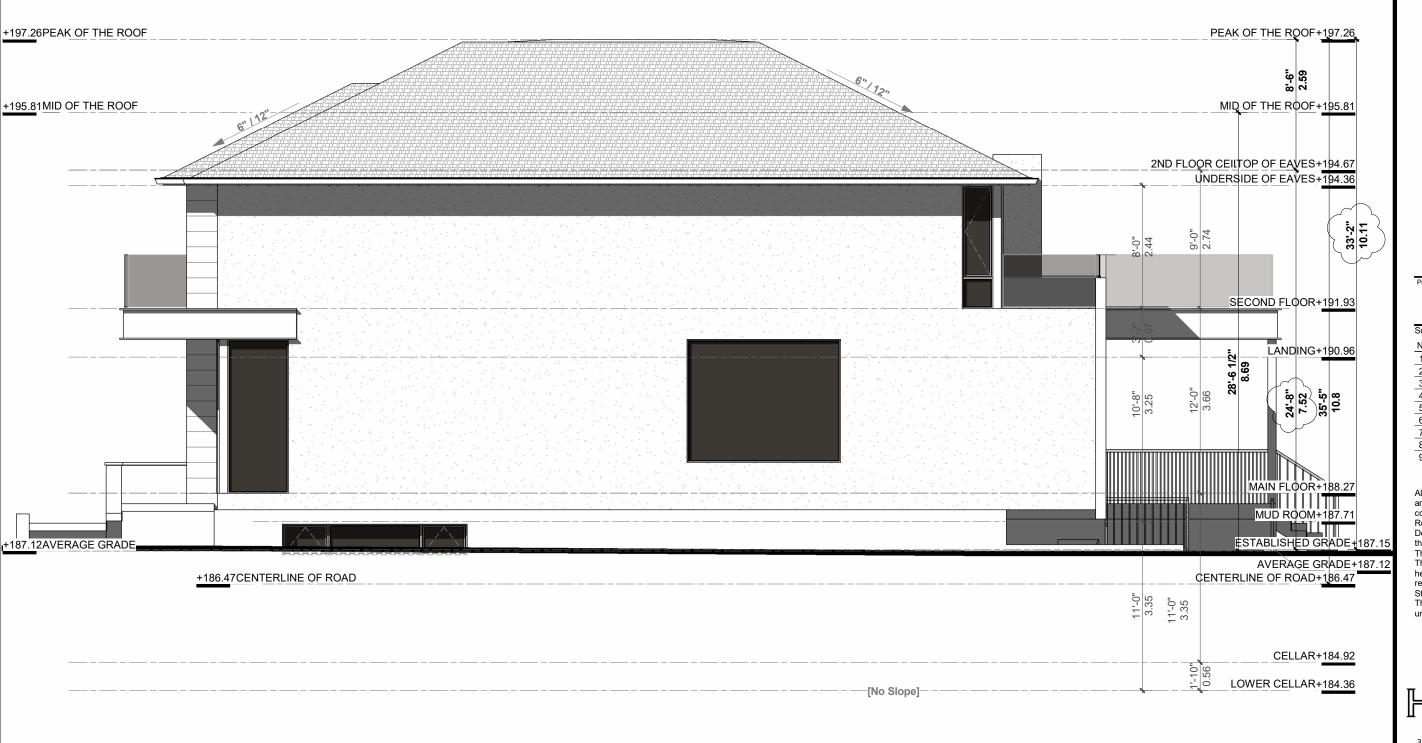


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Sheet Title:

SIDE ELEVATION

| Drawn: | ARCH | Sheet No: |
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| Project No: | 24-332 | 400.00 |
| Date: | JUL 2024 | A02-03 |
| Scale: | 1:75 | |



1 SOUTH ELEVATION

Scale:1:75

Project:

25 Honeybourne Cres. MARKHAM ONTARIO

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| Submission Chart | | | | | | |
| No. | Date: | Issued For: | Ву: | | | |
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| 3 | 24-10-23 | ZONING REVIEW | | | | |
| 4 | 25-01-08 | AS PER CITY | | | | |
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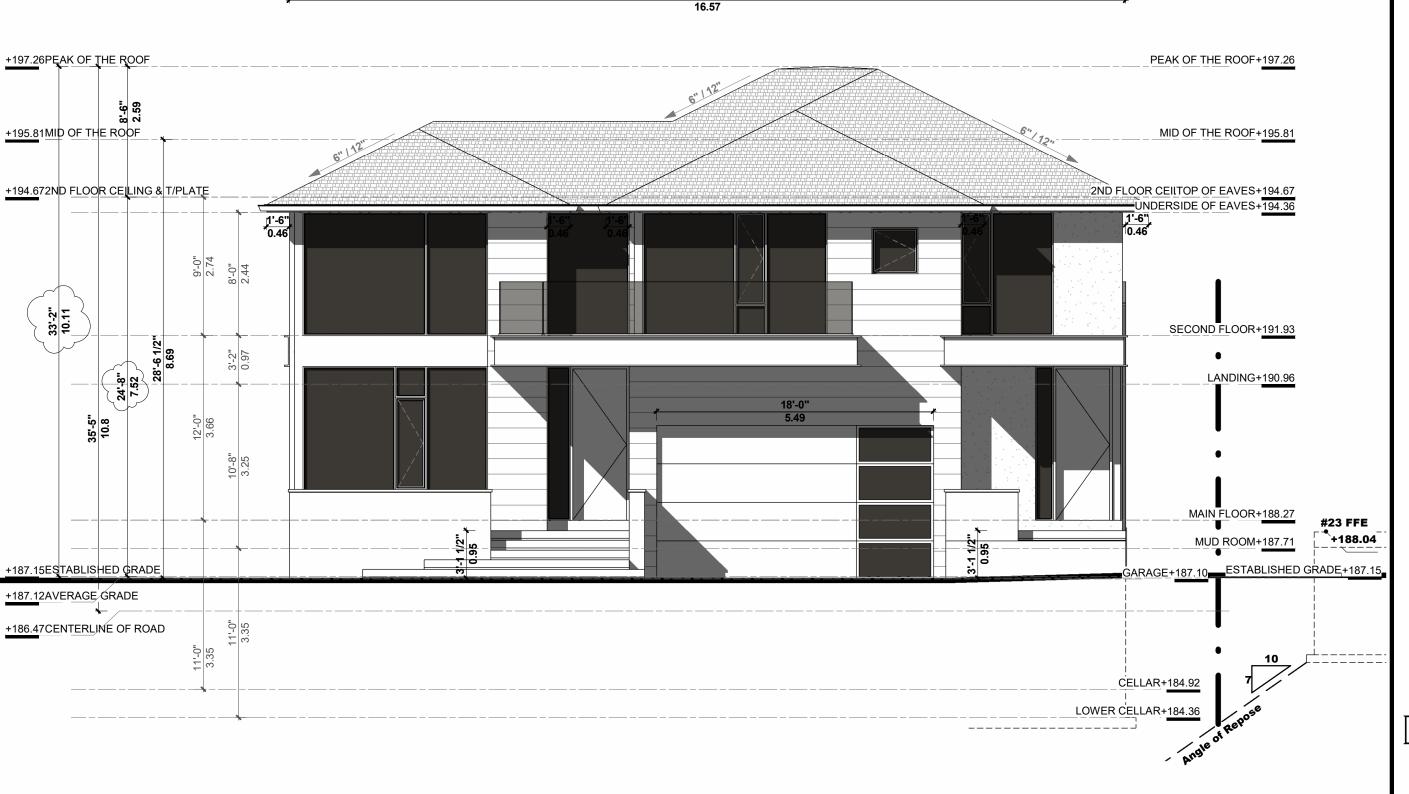


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Sheet Title:

SIDE ELEVATION

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| Date: | JUL 2024 | A02-04 |
| Scale: | 1:75 | |



54'-4 1/2"

1 WEST ELEVATION

Scale:1:75

Project:

25 Honeybourne Cres. MARKHAM ONTARIO

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| Submission Chart | | | | | |
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Sheet Title:

MAIN ELEVATION

| Drawn: | ARCH | Sheet No: |
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| Project No | 24-332 | A 00 04 |
| Date: | JUL 2024 | A02-01 |
| Scale: | 1:75 | |