

Memorandum to the City of Markham Committee of Adjustment

November 6, 2019

File: A/93/19 & B/15/19
Address: 34 Main St. Unionville
Applicant: Amica Unionville Inc. (Jack Winberg)
Agent: Amica Unionville Inc. (Kathryn Randle)
Hearing Date: Wednesday November 13, 2019

The following comments are provided on behalf of the Central Team:

Minor Variance Application A/93/19

The Applicant requests relief from the following requirements of By-law 2004-196, as amended, as it relates to a proposed nine storey retirement home (the “current proposal”), as shown on Appendix “C”:

1. **Amending By-law 2010-48, Section 6.8.2(a):**
a minimum width of landscaped strip along the southern lot line of 0 m, whereas the By-law requires a minimum width of 3 m;
2. **Amending By-law 2010-48, Schedule E2:**
a maximum of 294 retirement rooms of which a maximum of 16 may include cooking facilities, whereas the By-law permits a maximum of 283 retirement rooms.
3. **Amending By-law 2010-48, Schedule E3:**
a maximum height of 16 m in height layer 2, whereas the By-law permits a maximum height of 11.3 m.
4. **Amending By-law 2010-48, Schedule E3:**
a maximum height of 25 m in height layer 3, whereas the By-law permits a maximum height of 17.3 m.
5. **Amending By-law 2010-48, Schedule E3:**
a maximum height of 32 m in height layer 4, whereas the By-law permits a maximum height of 26.3 m.
6. **Amending By-law 2010-48, Schedule E4:**
a minimum setback of 9.9 m from the south lot line, whereas the By-law requires a minimum of 11 m.
7. **Amending By-law 2010-48, Schedule E4:**
a minimum north building setback at ground level of 5 m, whereas the By-law requires 7 m.

8. Amending By-law 2010-48, Schedule E4, Exception*4:

an underground parking garage to encroach 10.5 m into the south property line setback, whereas the By-law permits 8 m;

NOTE: Planning Staff recommend variance 7) be re-written as follows:

7. Amending By-law 2010-48, Schedule E4:

a minimum north building setback of 5 m from the Regional Flood Line, whereas, the By-law requires 7 m.

Consent Application File B/15/19

The Applicant requests provisional consent to establish easements for access and maintenance of the sanitary sewer in favour of Part 5, owned by Safe & Sound Self Storage Inc., over Parts 6, 7, 8 and 9, owned by Amica Unionville Inc. The proposed consent is to formalize an existing service already approved by the City, as shown on Appendix "D".

BACKGROUND

Property Description

The 1.2 ha (3.1 ac) subject lands are situated on the west side of Main Street Unionville, north of Enterprise Boulevard, municipally known as 34 Main Street (the "subject lands"). Bill Crothers Drive, which connects Bill Crothers Secondary School to Enterprise Boulevard, bisects the subject lands into an east and west parcel.

The east parcel is comprised of Phases 1 and 2. Phase 1 was completed in 2015 and consists of a nine storey retirement home. Phase 2, subject to these applications, is the vacant parcel to the east of the existing Phase 1 building and fronts Main Street Unionville. The east parcel comprises Phase 3, which serves as a surface visitor parking lot for Phase 1 and is intended for future development.

Subject lands were zoned in 2010 to permit a nine storey retirement home

In 2010, a site specific Zoning By-law Amendment (referred to as "Amending By-law 2010-48") was passed, which permits all three phases of development (the "original proposed development") consisting of the following:

- the Phase 1 and 2 lands each with a nine storey retirement home (linked by a podium) with a total of 283 retirement rooms
- the Phase 3 lands with a nine storey retirement home with a total of 110 retirement rooms.

The plans for Phases 1 and 2 were substantially advanced. Amending By-law 2010-48 was tailored to accommodate the original proposed development. Since 2010, revisions to the built form have been made resulting in the requested variances.

Proposal

The current proposal is the subject of a formal Site Plan Approval application currently under review by City staff (File SC 14 120628) and consists of the following:

- a) a nine storey retirement home with a gross floor area (GFA) of 11,507 m² (123,863 ft²) and a total of 143 units
- b) a private driveway that is shared with Phase 1 and the lands to the south (28 Main Street) that extends from Bill Crothers Drive to Main Street Unionville
- c) one level of underground parking consisting of 58 spaces.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24, 2017, and further updated on April 9, 2018)

The 2014 Official Plan designates the subject lands “Mixed Use High Rise” and “Greenway”. The “Mixed Use High Rise” designation permits a mix of residential, retail, restaurant and service uses that contribute to the creation of complete communities. The “Greenway” designation applies to a portion of the subject lands within the Regional Flood Line, which is not intended for development.

Section 9.12.4 of the 2014 Official Plan states that until an updated Secondary Plan is approved for the Regional Centre-Markham Centre lands, the provisions of the Official Plan (Revised 1987), as amended, and Markham Centre Secondary (OPA 21), as amended, shall apply to the lands.

Markham Centre Secondary Plan (OPA 21)

The subject lands are further designated “Community Amenity Area-General” in the Markham Centre Secondary Plan, which permits institutional uses such as retirement homes.

Zoning By-Law 2004-196, as amended

The subject lands are zoned “Markham Centre Downtown Two *8” (MC-D2 *8), “Markham Centre Downtown Two *8 (Hold 8)” [MC-D2*8(H8)], “Markham Centre Downtown Two *9 (Hold 9)” [MC-D2 *9(H9)], and “Markham Centre Public Space Two” (MC-PS2) by By-law 2004-196, as amended. The MC-D2*8 and MC-D2*9 zone categories permit a retirement home and accessory uses. The MC-PS2 zone category permits soft and hard landscape, including terraces and walkways, pathways and trails, and amenity space.

Applicant’s Stated Reason for Not Complying with Zoning

According to the information provided by the Applicant, the reasons for not complying with Zoning are as follows: “In March 2010, by-law 2010-48 was passed which provided zoning permissions for all three phases of our 34 Main Street property. Phase 1 was built and occupied in 2015. Since 2015 our partner, Amica Senior Lifestyles, has expanded and developed their brand and product. We are seeking minor revisions to the approved built form to address new ideas, improved functionality and enhanced operations”.

Zoning Preliminary Review (ZPR) Not Undertaken

The Applicant has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. However, the Applicant has received comments from the City’s Building Department through their Site Plan Approval circulation process to confirm the variances required to facilitate the proposed development.

COMMENTS

Requested Variances (A/93/19)

The proposed variances include relief to site-specific development standards pertaining to the following:

- a) minimum required landscape strip width
- b) number of retirement rooms
- c) height
- d) minimum required setbacks
- e) underground parking encroachment

a) Minimum Required Landscape Strip Width

Variance 1) applies to the landscape strip located along the southerly lot line and the shared private driveway. Through negotiations with the landowner to the south, a shared driveway access arrangement has been achieved, which is supported by City staff. This has resulted in the re-alignment of the curbs and driveway entrance at Main Street Unionville. At its widest, the landscape strip is 1.5 metres and gradually tapers down to 0 metres at Main Street Unionville.

b) Number of Retirement Rooms

Variance 2) pertains to the number of retirement rooms and seeks permission to allow a maximum of 16 rooms to include cooking facilities. The Phase 2 building was originally planned to be for only independent rooms. With the demand for memory care from Phase 1, the Applicant has introduced memory care floors, which due to their size, results in a greater number of overall rooms. A request to allow a maximum of 16 rooms to include cooking facilities has also been introduced for residents who wish to prepare their own meals.

In order to ensure the proposed retirement rooms with cooking facilities are not converted into dwelling units, which are expressly not permitted in Amending By-law, 2010-48, a condition of approval is recommended ensuring that all retirement rooms/units will be registered in accordance with the *Retirements Homes Act* (refer to Appendix "A").

c) Height

Variances 3), 4) and 5) pertain to the height of the building in layers 2, 3 and 4. Amending By-law 2010-48 was tailored to ensure that the height of the building was stepped back from Main Street Unionville with the lowest building height in layer 1. The increases in height for layers 2, 3 and 4 are a result of modifications to the built form, but still maintain the intent of the Zoning By-law by stepping up the building height from the Main Street Unionville interface.

f) Minimum Required Setbacks

Variance 6) pertains to the minimum setback from the south lot line. This variance results from the southerly shift of the Phase 2 building that would further

articulate the built form. Variance 7) pertains to the minimum setback from the Regional Flood Line, which runs along the northern portion of the subject lands. The ground floor of the building meets the required 7 m setback to the Regional Flood Line. However, a portion of the building above the ground floor encroaches 2 m into the required 7 m setback, which would yield a 5 m setback above grade.

d) Underground Parking Encroachment

The original proposed development contemplated two levels of underground parking that coincided with the building footprint above. Variance 8) is a result of the Applicant extending the P1 parking level south (beneath the private driveway), thereby eliminating the need for a second parking level (P2).

The Four Tests

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) the variance must be minor in nature
- b) the variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure
- c) the general intent and purpose of the Zoning By-law must be maintained
- d) the general intent and purpose of the Official Plan must be maintained

The proposed variances are minor in nature and represent minimal deviations from Amending By-law 2010-48. Staff opines that the variances are desirable and facilitate a proposed development that is compatible with surrounding uses and provides options for assisted living, memory care and independent suites within one building. Staff further opines that the proposed variances meet the intent of both the Zoning By-law and the Official Plan, as the uses are permitted and the objective of stepping building heights from Main Street Unionville is maintained.

Requested Consent (B/15/19)

A 200 mm sanitary sewer was installed by the Applicant at the time Phase 1 was constructed. The sanitary sewer extends from the Phase 3 parcel, crosses Bill Crothers Drive and continues through the Phase 1 and Phase 2 lands ending at the east property boundary. Due to the re-design of the underground parking garage for Phase 2, a portion of the sanitary sewer that fronts onto the proposed development needs to be relocated south by approximately 3.5 m to avoid any potential conflicts. The relocated sanitary sewer will be located entirely on the subject lands, approximately 0.5 m from the underground parking garage. An easement is required in favour of Phase 3 (Safe & Sound Storage Inc.) for access and maintenance of the sanitary sewer on Phase 1 and Phase 2 (Amica Unionville Inc). The easement would be for both above and below grade for maintenance and repair.

Staff have no objection to the proposed consent for easements.

Comments from External Agencies

York Region

York Region have advised they have no comments on the subject minor variance and consent applications.

Toronto and Region Conservation Authority ("TRCA")

A portion of the subject lands are located within a regulated area of the TRCA. The TRCA have advised that they have no objection to the subject minor variance and consent applications subject to the Applicant obtaining a permit from the TRCA and submitting updated plans to their satisfaction (see Appendix "E").

PUBLIC INPUT SUMMARY

No written submissions were received as of November 6, 2019. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the applications with respect to Sections 45(1) and 51(24) of The *Planning Act*, R.S.O. 1990, c. P.13, as amended, and have no objection to the subject consent and minor variance applications. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the Applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

Please see Appendices "A" & "B" for conditions to be attached to any approval of the applications.

PREPARED BY:



Sabrina Bordone, Senior Planner, Central District

REVIEWED BY:



Stephen Lue, Development Manager, Central District

File Path: Amanda\File\ 19 134556 \Documents\District Team Comments Memo

Appendices:

Appendix "A": Conditions of Approval (A/93/19)

Appendix "B": Conditions of Approval (B/15/19)

Appendix "C": Current Proposal

Appendix "D": Plan 64R-32741 (showing parts subject to easement)

Appendix "E": Correspondence from the Toronto and Region Conservation Authority dated November 1, 2019

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/93/19

1. The variances apply only to the proposed development as long as it remains.
2. That the variances apply only to the subject development, in substantial conformity with the plans attached as Appendix "C" to this Staff Report and received by the City of Markham on September 13, 2019, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled.
3. That all retirement rooms/units will be registered in accordance with the *Retirement Homes Act*.
4. That the Applicant satisfies the requirements of the Toronto and Region Conservation Authority, financial or otherwise, as indicated in their letter to the Secretary-Treasurer attached as Appendix "E" to this Staff Report, to the satisfaction of the Toronto and Region Conservation Authority, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Toronto and Region Conservation Authority.

CONDITIONS PREPARED BY:



Sabrina Bordone, Senior Planner, Central District

APPENDIX "B"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE B/15/19

1. Payment of all outstanding realty taxes and local improvements charges owing to date against both the subject and retained parcels, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled.
 2. Submission to the Secretary-Treasurer of the required transfers to effect the consent for easement applied for under File B/15/19, in duplicate, conveying the easements and issuance by the Secretary Treasurer of the certificate required under subsection 53(42) of the *Planning Act*.
 3. Submission to the Secretary-Treasurer of seven white prints of a deposited reference plan showing the subject land, which conforms substantially to the application as submitted.
 4. That the Applicant satisfies the requirements of the Toronto and Region Conservation Authority, financial or otherwise, as indicated in their letter to the Secretary-Treasurer attached as Appendix "E" to this Staff Report, to the satisfaction of the Toronto and Region Conservation Authority, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Toronto and Region Conservation Authority.
-
5. Fulfillment of all the above conditions within one (1) year of the date that notice of the decision was given under Section 50(17) or 50(24) of the *Planning Act*, R.S.O. 1990, c.P.13.

CONDITIONS PREPARED BY:



Sabrina Bordone, Senior Planner, Central District

ARCHITECTURAL DRAWING LIST

A101	SITE PLAN
A101SPA	SPA SITE PLAN
A201	P1 PARKING LEVEL & GROUND FLOOR PLANS
A202	SECOND & THIRD FLOOR PLANS
A203	FOURTH & FIFTH FLOOR PLANS
A204	SIXTH & SEVENTH FLOOR PLANS
A205	EIGHTH & NINTH FLOOR PLANS
A206	PENTHOUSE & ROOF PLANS
A210	P1 PARKING LEVEL PLAN - PHASE 2
A211	GROUND FLOOR PLAN - PHASE 2
A212	2ND FLOOR PLAN - PHASE 2
A213	3RD FLOOR PLAN - PHASE 2
A214	4TH FLOOR PLAN - PHASE 2
A215	5TH FLOOR PLAN - PHASE 2
A216	6TH FLOOR PLAN - PHASE 2
A217	7TH FLOOR PLAN - PHASE 2
A218	8TH FLOOR PLAN - PHASE 2
A219	9TH FLOOR PLAN - PHASE 2
A220	PENTHOUSE FLOOR PLAN - PHASE 2
A221	ROOF PLAN - PHASE 2
A301	NORTH & SOUTH ELEVATIONS - OVERALL
A302	NORTH ELEVATION-PHASE 2
A303	SOUTH ELEVATION-PHASE 2
A304	EAST & WEST ELEVATIONS-PHASE 2
A401	BUILDING SECTIONS

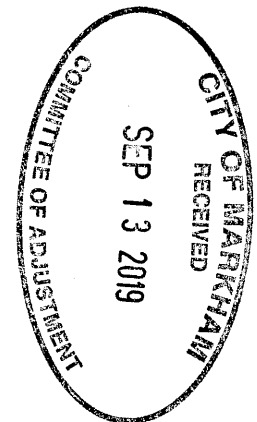


PROPOSED RETIREMENT DEVELOPMENT-PHASE 2

AMICA UNIONVILLE INC.
34 MAIN STREET
MARKHAM, ONTARIO

ISSUED FOR:

- ☐ ISSUED FOR CO-ORDINATION
- ☐ RE-ISSUED FOR SITE PLAN APPROVAL
- ☒ RE-ISSUED FOR COMMITTEE OF ADJUSTMENT VARIANCE
- ☐ ISSUED FOR BUILDING PERMIT APPLICATION
- ☐ ISSUED FOR TENDER
- ☐ ISSUED FOR ADDENDUM No.1
- ☐ ISSUED FOR CONSTRUCTION



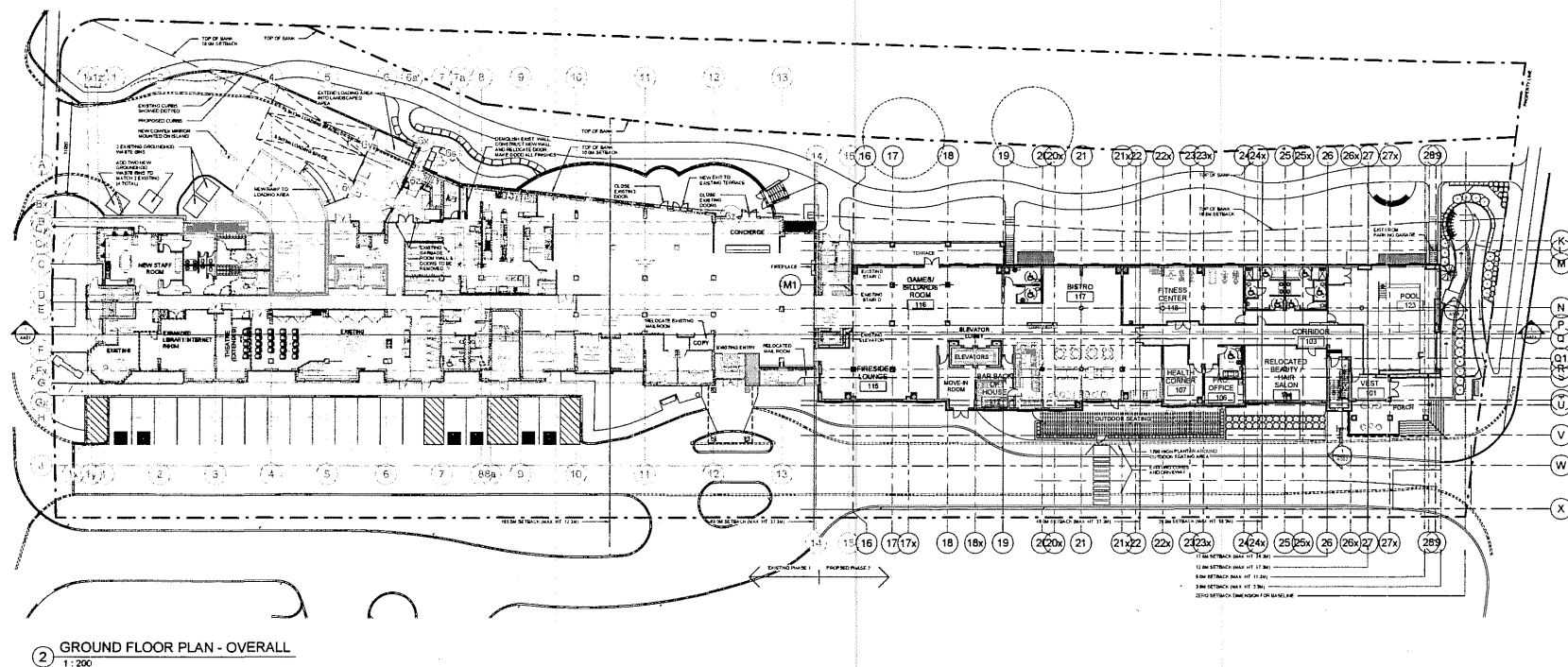
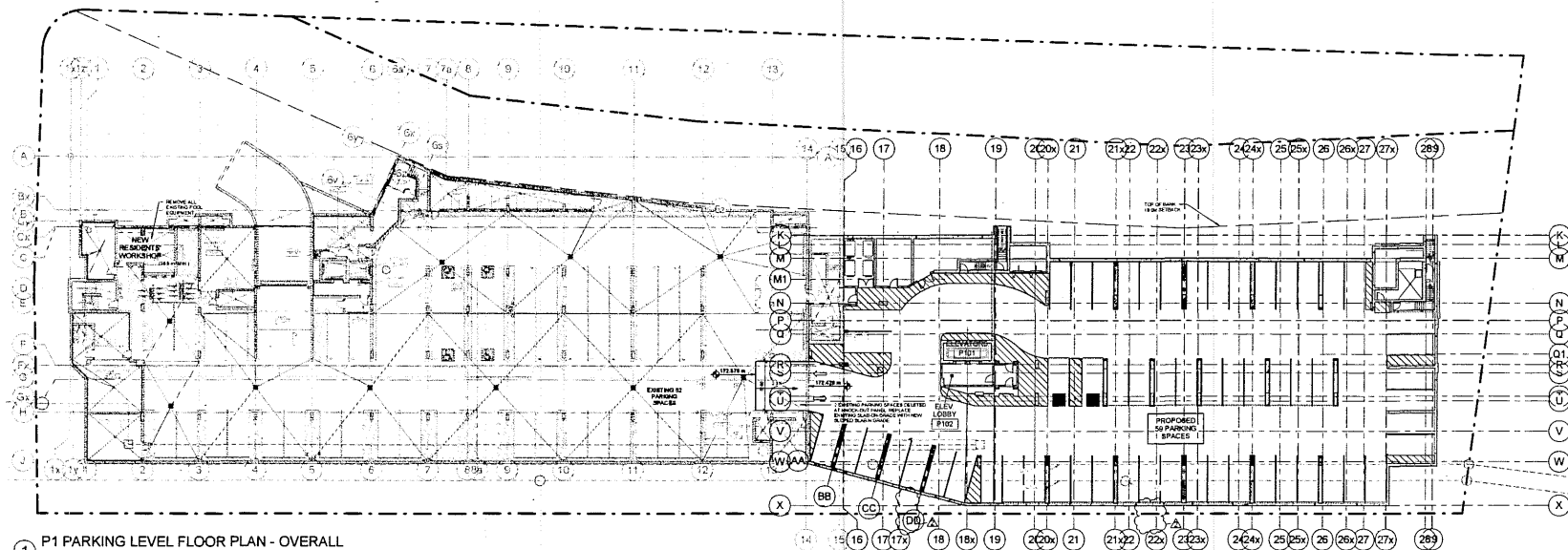
DATE PRINTED: 9/9/2019 3:43:39 PM

PROJECT No.: 17A156

247 Spadina Avenue, 4th Floor
Toronto, Ontario
M5T 3A8
www.cmvarch.com
T: 416.506.1600 F: 416.506.0956

CMV
GROUP
Architects

Appendix C

[illegible]

3

ALL INFORMATION ON THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED TO PROJECT:

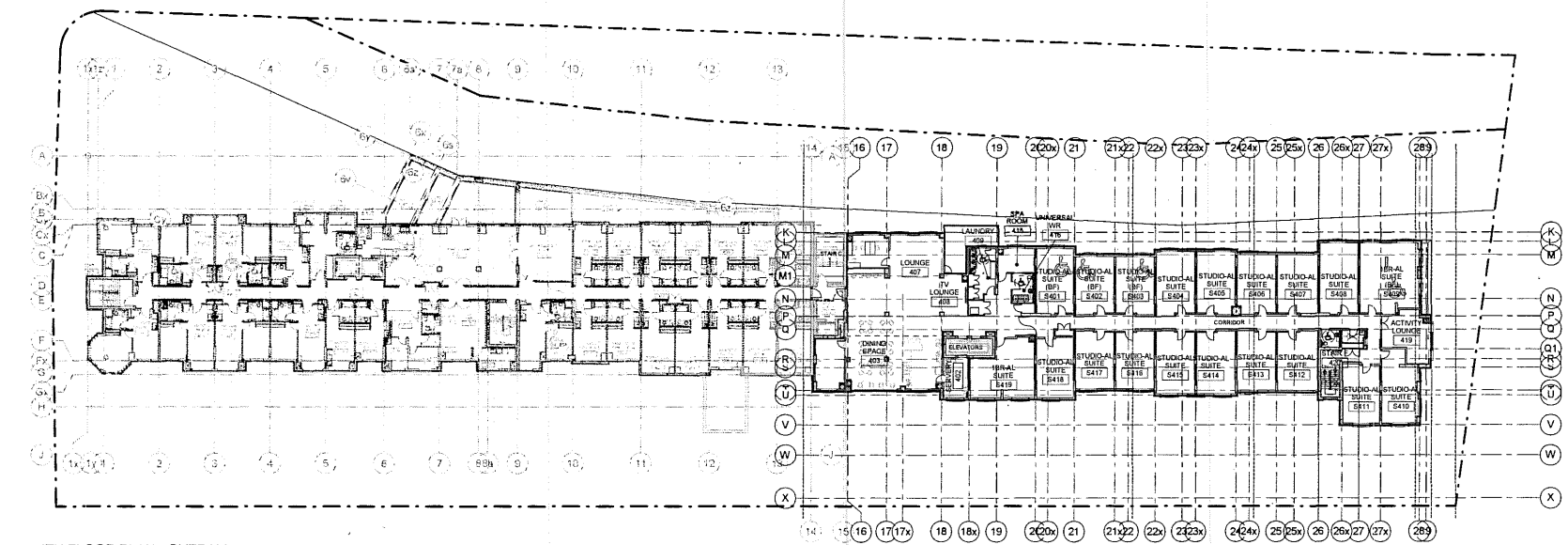
THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT.

ALL DIMENSIONS ARE GIVEN IN MILLIMETERS UNLESS OTHERWISE NOTED.

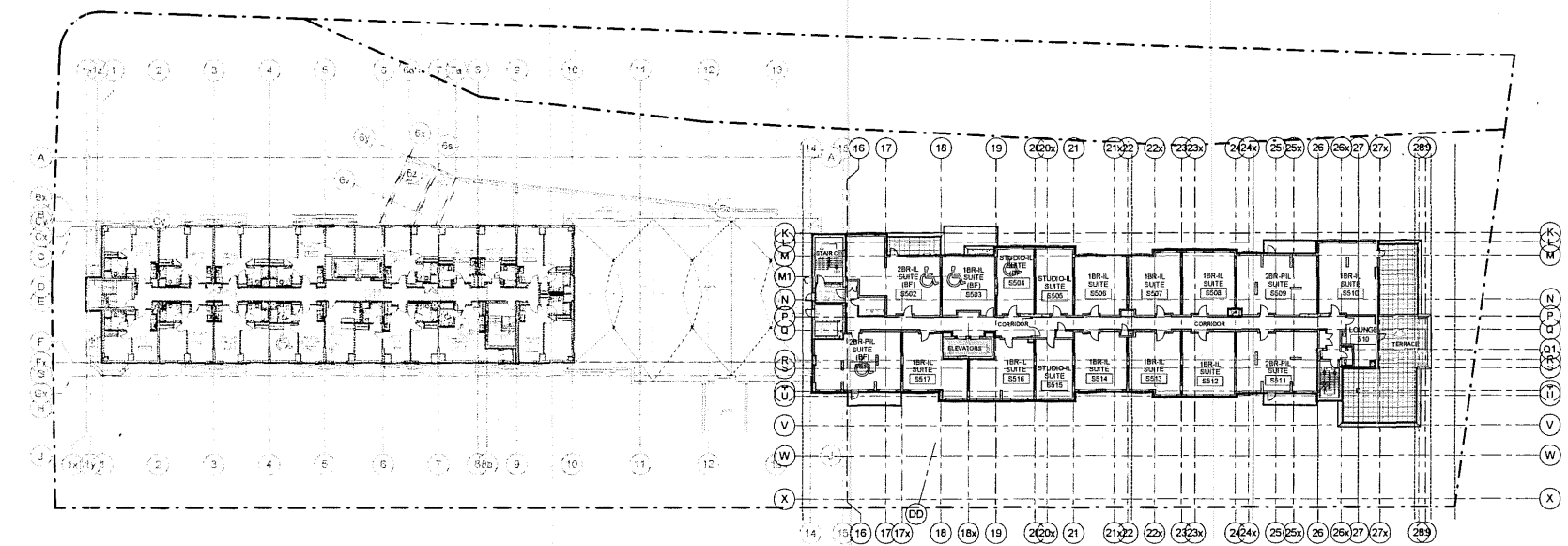
COUNT SCALE DIMENSIONS

REVISIONS AND DISTRIBUTION LOG

NO.	DATE	BY	REVISIONS
1	10/1/2019	AMC	AS SHOWN FOR PERMITS
2	10/1/2019	AMC	AS SHOWN FOR PERMITS
3	10/1/2019	AMC	AS SHOWN FOR PERMITS
4	10/1/2019	AMC	AS SHOWN FOR PERMITS
5	10/1/2019	AMC	AS SHOWN FOR PERMITS
6	10/1/2019	AMC	AS SHOWN FOR PERMITS
7	10/1/2019	AMC	AS SHOWN FOR PERMITS
8	10/1/2019	AMC	AS SHOWN FOR PERMITS
9	10/1/2019	AMC	AS SHOWN FOR PERMITS
10	10/1/2019	AMC	AS SHOWN FOR PERMITS
11	10/1/2019	AMC	AS SHOWN FOR PERMITS
12	10/1/2019	AMC	AS SHOWN FOR PERMITS
13	10/1/2019	AMC	AS SHOWN FOR PERMITS
14	10/1/2019	AMC	AS SHOWN FOR PERMITS
15	10/1/2019	AMC	AS SHOWN FOR PERMITS
16	10/1/2019	AMC	AS SHOWN FOR PERMITS
17	10/1/2019	AMC	AS SHOWN FOR PERMITS
18	10/1/2019	AMC	AS SHOWN FOR PERMITS
19	10/1/2019	AMC	AS SHOWN FOR PERMITS
20	10/1/2019	AMC	AS SHOWN FOR PERMITS
21	10/1/2019	AMC	AS SHOWN FOR PERMITS
22	10/1/2019	AMC	AS SHOWN FOR PERMITS
23	10/1/2019	AMC	AS SHOWN FOR PERMITS
24	10/1/2019	AMC	AS SHOWN FOR PERMITS
25	10/1/2019	AMC	AS SHOWN FOR PERMITS
26	10/1/2019	AMC	AS SHOWN FOR PERMITS
27	10/1/2019	AMC	AS SHOWN FOR PERMITS
28	10/1/2019	AMC	AS SHOWN FOR PERMITS
29	10/1/2019	AMC	AS SHOWN FOR PERMITS



2 4TH FLOOR PLAN - OVERALL
1:200



1 5TH FLOOR PLAN - OVERALL
1:200

CMV GROUP

1000 Lakeshore Blvd. W.
Suite 1000
Oakville, Ontario
L6M 4B6
Tel: 905.881.1111
Fax: 905.881.1112

PROPOSED RETIREMENT
DEVELOPMENT-PHASE 2

AMICA UNIONVILLE INC.
SPA REFERENCE #14-120628-000-00-SC
24 HANCOCK STREET
MARGARET, ONTARIO

FOURTH & FIFTH FLOOR
PLANS

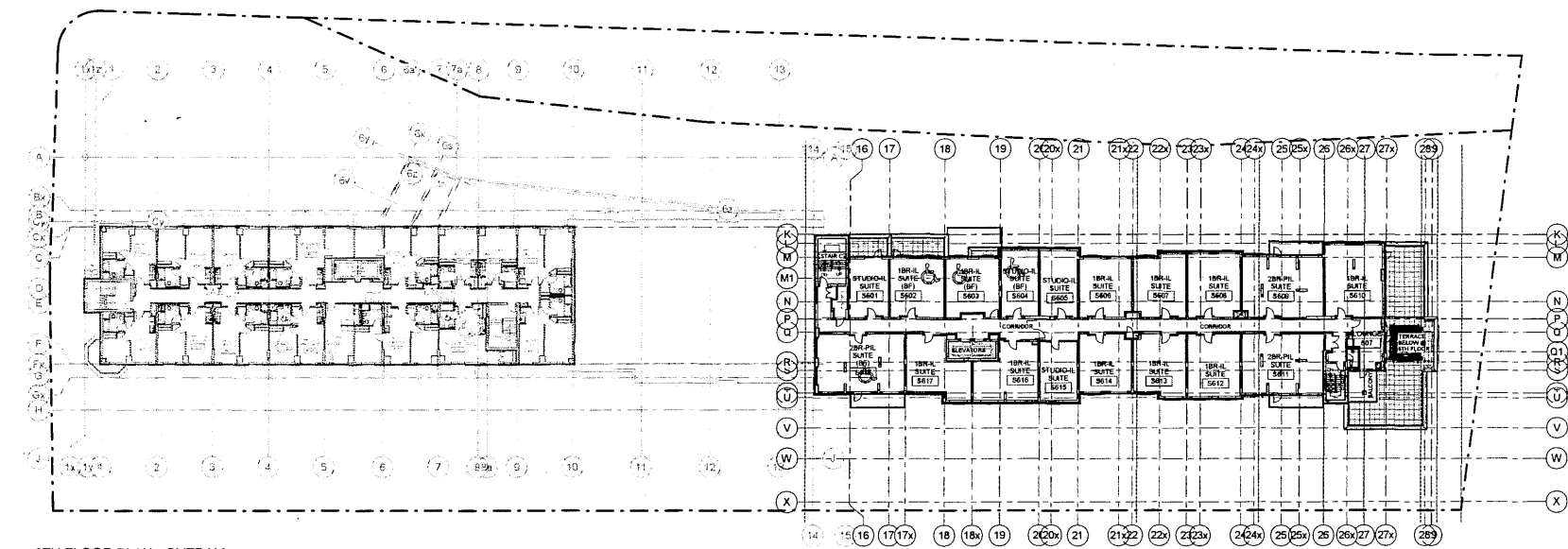
Author	Checker	Issue Date	17A156
9/10/2019 3:44:48 PM			1:200

A203

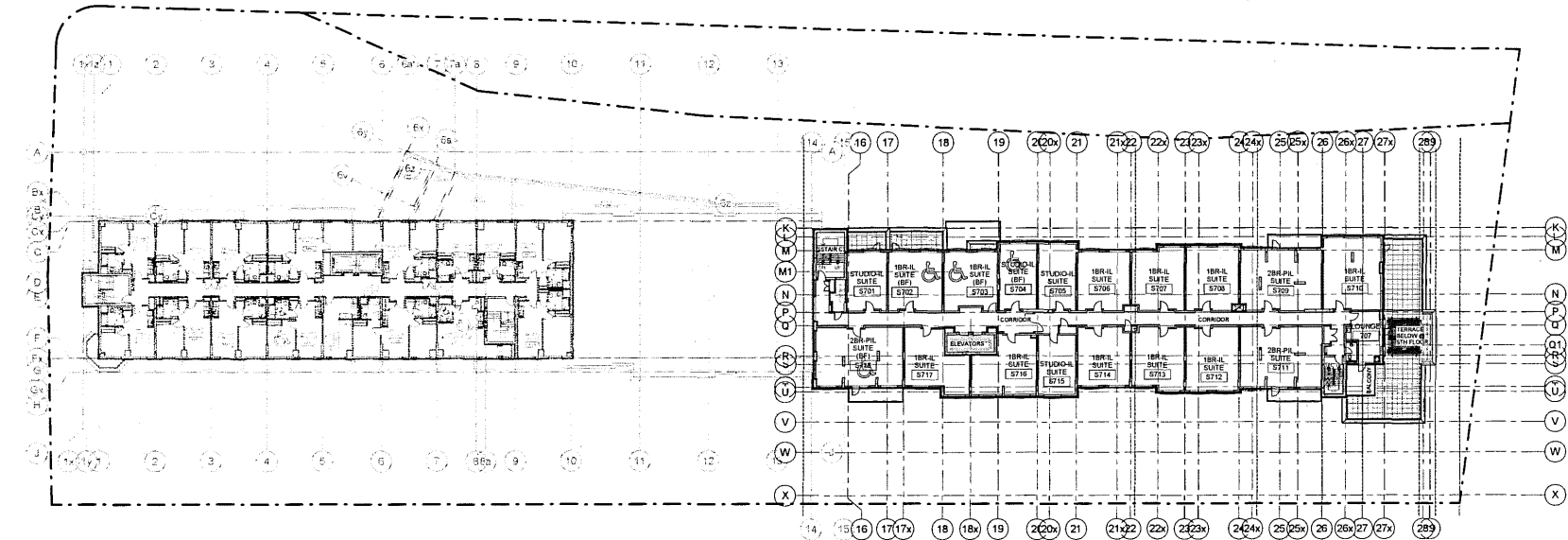
3

ALL DIMENSIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE FOLLOWED TO THE LETTER.
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT.
ALL DIMENSIONS ARE GIVEN IN MILLIMETERS UNLESS OTHERWISE INDICATED.
SUITE SCALE DRAWING

REVISIONS AND DISTRIBUTION LOG			
NO.	DATE	BY	REVISIONS AND DISTRIBUTION
1	09/20/19	MM	ISSUED FOR RFP
2	09/20/19	MM	ISSUED FOR RFP
3	09/20/19	MM	ISSUED FOR RFP
4	09/20/19	MM	ISSUED FOR RFP
5	09/20/19	MM	ISSUED FOR RFP
6	09/20/19	MM	ISSUED FOR RFP
7	09/20/19	MM	ISSUED FOR RFP
8	09/20/19	MM	ISSUED FOR RFP
9	09/20/19	MM	ISSUED FOR RFP
10	09/20/19	MM	ISSUED FOR RFP
11	09/20/19	MM	ISSUED FOR RFP
12	09/20/19	MM	ISSUED FOR RFP
13	09/20/19	MM	ISSUED FOR RFP
14	09/20/19	MM	ISSUED FOR RFP
15	09/20/19	MM	ISSUED FOR RFP
16	09/20/19	MM	ISSUED FOR RFP
17	09/20/19	MM	ISSUED FOR RFP
18	09/20/19	MM	ISSUED FOR RFP
19	09/20/19	MM	ISSUED FOR RFP
20	09/20/19	MM	ISSUED FOR RFP
21	09/20/19	MM	ISSUED FOR RFP
22	09/20/19	MM	ISSUED FOR RFP
23	09/20/19	MM	ISSUED FOR RFP
24	09/20/19	MM	ISSUED FOR RFP
25	09/20/19	MM	ISSUED FOR RFP
26	09/20/19	MM	ISSUED FOR RFP
27	09/20/19	MM	ISSUED FOR RFP
28	09/20/19	MM	ISSUED FOR RFP
29	09/20/19	MM	ISSUED FOR RFP



2 6TH FLOOR PLAN - OVERALL
1:200



1 7TH FLOOR PLAN - OVERALL
1:200



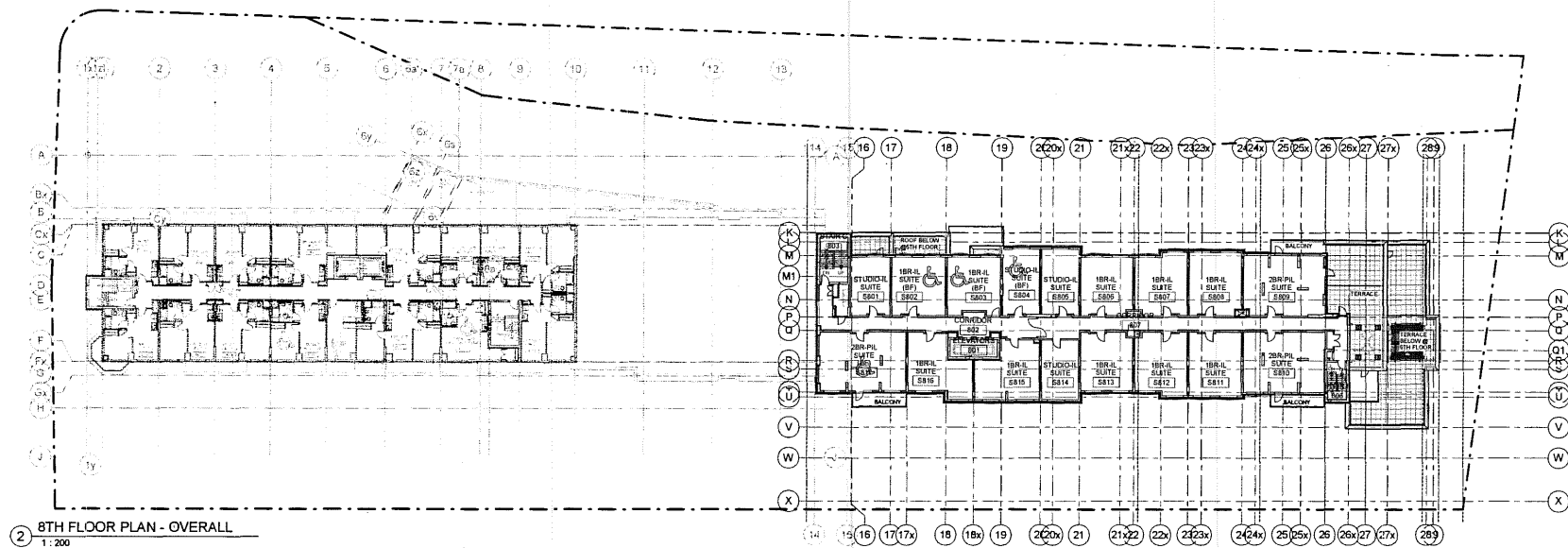
1:10 Scale to Plot
No. Rev.
Drawing Name
Left Top
Drawing Date
1:1000 (1:100) 1:1000 (1:100)

PROPOSED RETIREMENT
DEVELOPMENT-PHASE 2
AMICA UNIONVILLE INC.
SPA REFERENCE #14-170428-000-00-SC
24 JAGAN STREET
MARKHAM, ONTARIO

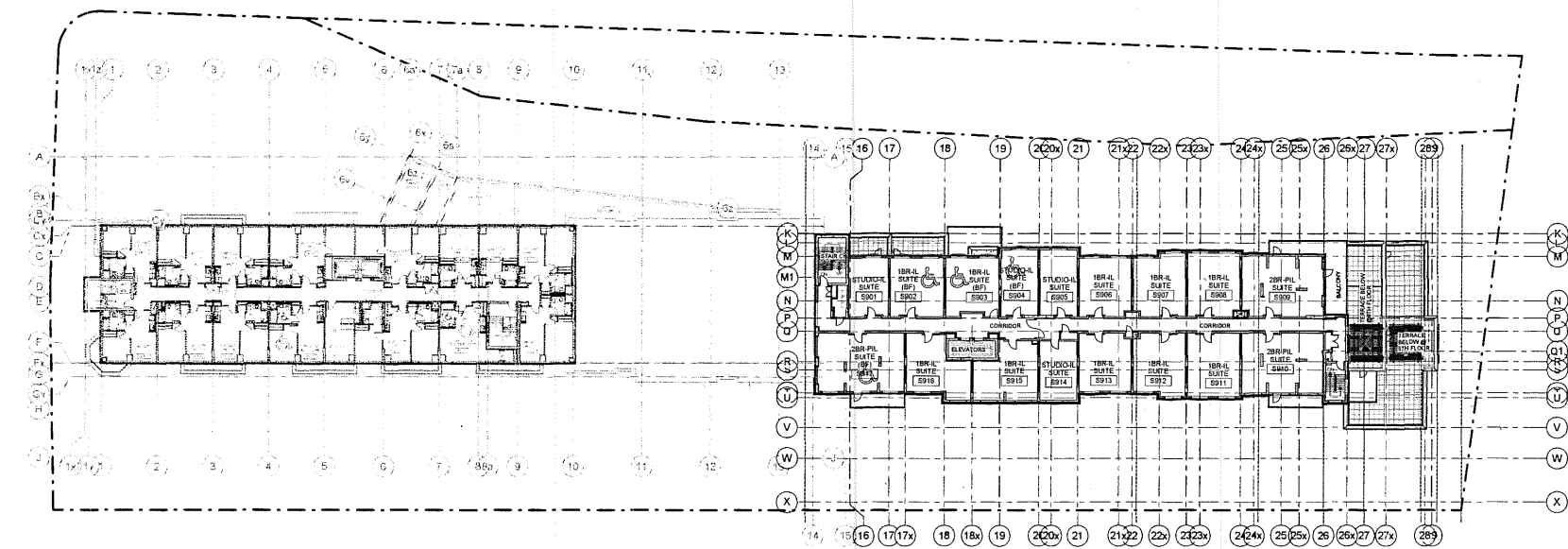
Project No.
SIXTH & SEVENTH FLOOR PLANS
Author: [] Checker: [] Issue Date: []
Date: 09/20/19 3:44:55 PM
Drawing No.

A204 3

REVISIONS AND DISTRIBUTION LOG			
NO.	DATE	DESCRIPTION	BY
1	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
2	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
3	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
4	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
5	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
6	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
7	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
8	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
9	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
10	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
11	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
12	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
13	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
14	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
15	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
16	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
17	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
18	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
19	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
20	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
21	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
22	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
23	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
24	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
25	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
26	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
27	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
28	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP
29	2019.05.15	ISSUED FOR PERMITTING	CMV GROUP



② 8TH FLOOR PLAN - OVERALL
1:200



① 9TH FLOOR PLAN - OVERALL
1:200

117 Taylor Road
Scarborough, Ontario
M1V 3K1
416-291-8888
www.cmvgroup.com

PROPOSED RETIREMENT DEVELOPMENT-PHASE 2
ANICA UNIONVILLE INC.
SPA REFERENCE #14-126528-000-00-SC
24 HAN STREET
MARKHAM, ONTARIO

EIGHTH & NINTH FLOOR PLANS

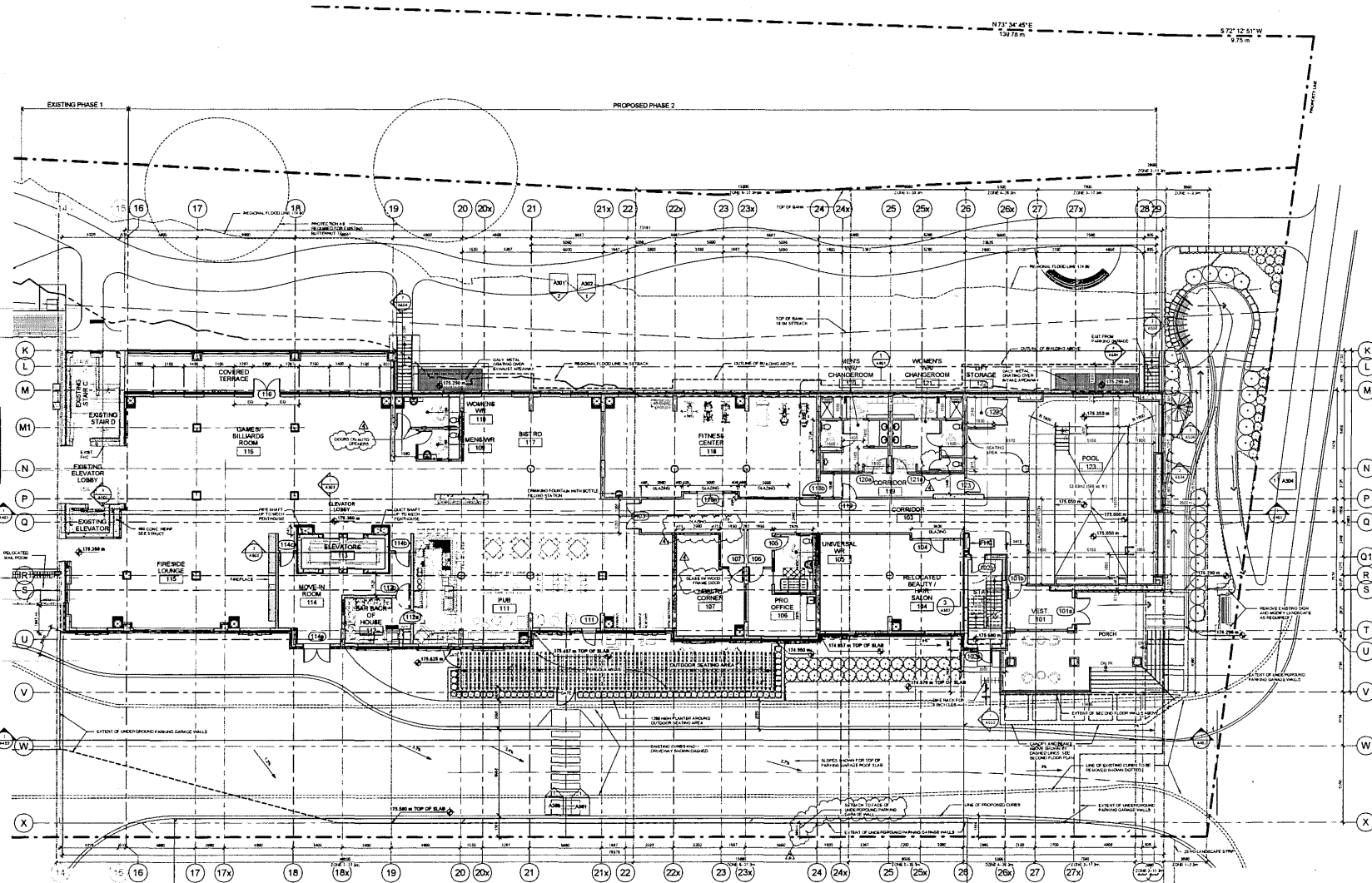
Author	Checker	Issue Date	Sheet
8/19/2019 3:45:58 PM			17A156
Drawing No.			1:200

A205

3

ALL DIMENSIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE VERIFIED ON SITE.
THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
ALL DIMENSIONS ARE GIVEN IN METERS UNLESS OTHERWISE INDICATED.
EXISTING SCALE 1:1000

REVISIONS AND DISTRIBUTION LOG			
NO.	DATE	BY	REVISION
1	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
2	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
3	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
4	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
5	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
6	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
7	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
8	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
9	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
10	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
11	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
12	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
13	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
14	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
15	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
16	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
17	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
18	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
19	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
20	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
21	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
22	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
23	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
24	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
25	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
26	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
27	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
28	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
29	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
30	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
31	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
32	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
33	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
34	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
35	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
36	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
37	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
38	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
39	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
40	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
41	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
42	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
43	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
44	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
45	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
46	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
47	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
48	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
49	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
50	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
51	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
52	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
53	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
54	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
55	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
56	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
57	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
58	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
59	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
60	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
61	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
62	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
63	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
64	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
65	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
66	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
67	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
68	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
69	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
70	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
71	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
72	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
73	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
74	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
75	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
76	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
77	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
78	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
79	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
80	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
81	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
82	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
83	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
84	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
85	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
86	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
87	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
88	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
89	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
90	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
91	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
92	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
93	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
94	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
95	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
96	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
97	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
98	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
99	2019.07.19	CMV GROUP	ISSUED FOR PERMIT
100	2019.07.19	CMV GROUP	ISSUED FOR PERMIT



1 GROUND FLOOR PLAN-PHASE 2
 1:100

CMV GROUP

1111 Lakeshore Blvd. E.
 Suite 1000
 Scarborough, Ontario M1V 4Y4
 Tel: (416) 291-1111
 Fax: (416) 291-1112

PROPOSED RETIREMENT DEVELOPMENT-PHASE 2
 AMICA UNIONVILLE INC.
 5741 MIDLAND AVE. UNIT 100
 SCARBOROUGH, ONTARIO M1V 4Y4

GROUND FLOOR PLAN - PHASE 2

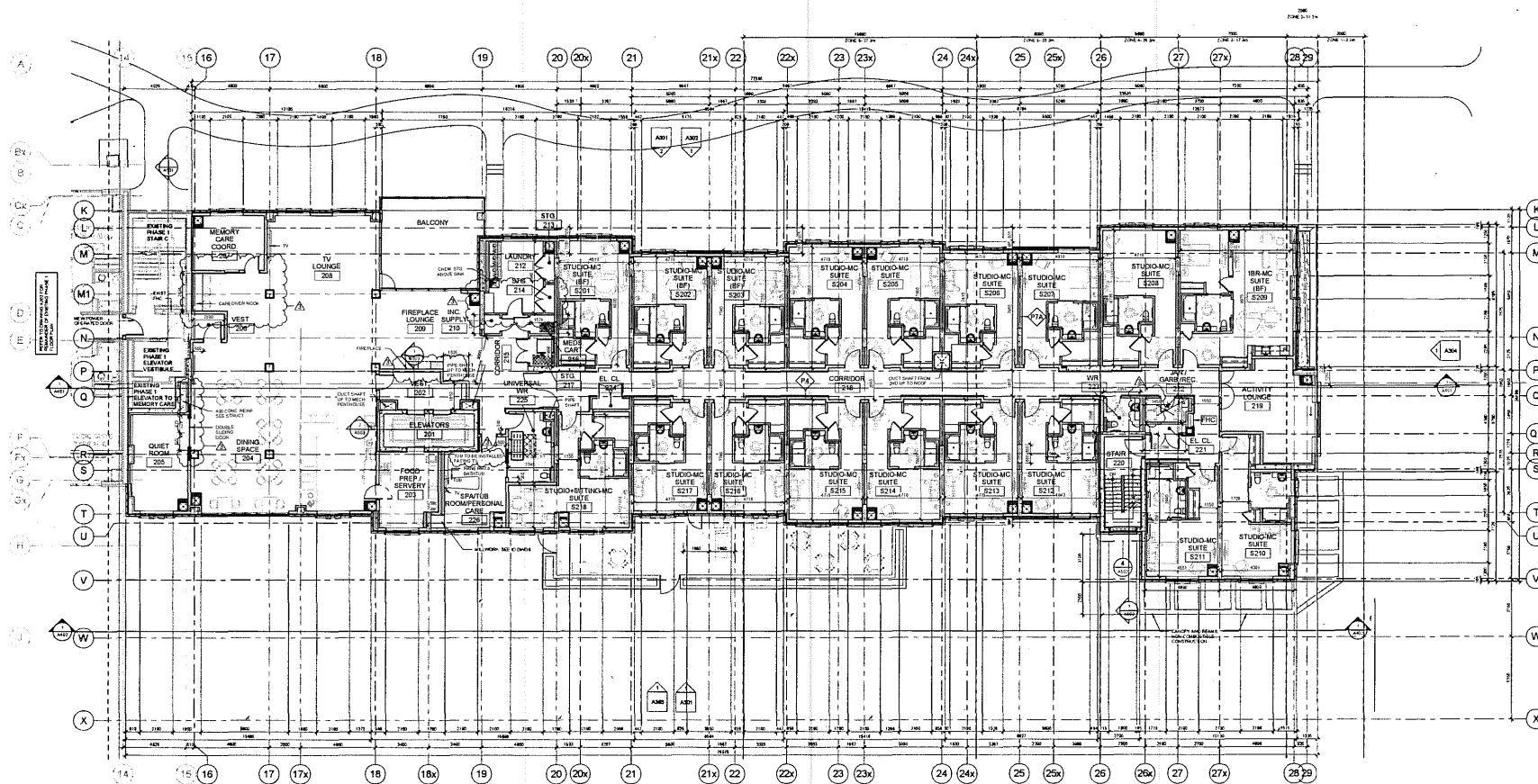
Author	Checked	Issue Date	17/11/16
7/7/2019 2:46:34 PM			

A211 **5**

ALL DIMENSIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE REFERENCED TO THE ARCHITECT.
THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
ALL DIMENSIONS ARE GIVEN IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
TO: NOT IN CONFORMANCE

REVISIONS AND DISTRIBUTION LOG

NO.	DATE	BY	REVISION
1	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
2	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
3	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
4	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
5	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
6	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
7	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
8	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
9	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
10	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
11	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
12	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
13	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
14	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
15	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
16	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
17	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
18	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
19	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
20	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
21	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
22	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
23	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
24	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
25	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
26	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
27	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
28	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING
29	17/01/2019	CMV GROUP	ISSUED FOR PERMITTING



1 2ND FLOOR PLAN-PHASE 2
1:100

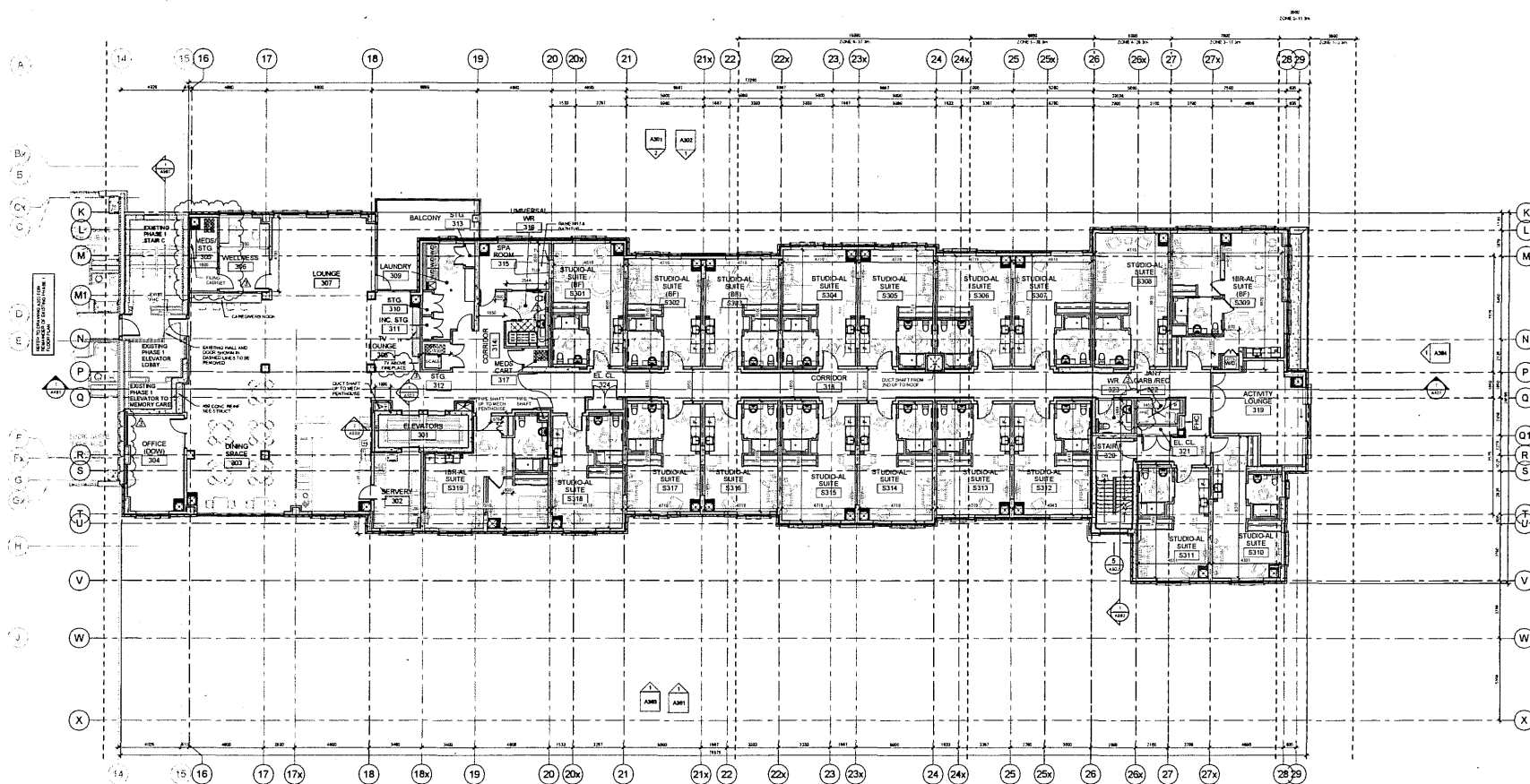
1:100 Scale
Author: CMV GROUP
Checker: CMV GROUP
Date: 17/01/2019
Project: PROPOSED RETIREMENT DEVELOPMENT-PHASE 2

PROPOSED RETIREMENT DEVELOPMENT-PHASE 2
AMICA UNIONVILLE INC.
SPA REFERENCE #14-120428-000-00-SC
3-1 HAIN STREET
WILLOWDALE, ONTARIO

2ND FLOOR PLAN - PHASE 2

Author	Checker	Date	Issue Date	Scale
17/01/2019	17/01/2019	17/01/2019	17/01/2019	1:100

A212 4



1 3RD FLOOR PLAN-PHASE 2
1 : 100

[illegible]

REVISIONS AND DISTRIBUTION LOG		
No.	Date	Description
1	MAY 0, 2010	RE ISSUED FOR NEW PLAN APPROVAL
2	MAY 7, 2010	RE ISSUED FOR NEW PLAN APPROVAL
3	AUG 20, 2011	REISSUED FOR CORRECT CHANGING
4	MAY 9, 2017	RE ISSUED FOR 2 CHANGES OF ADJUSTMENT TABLE 2



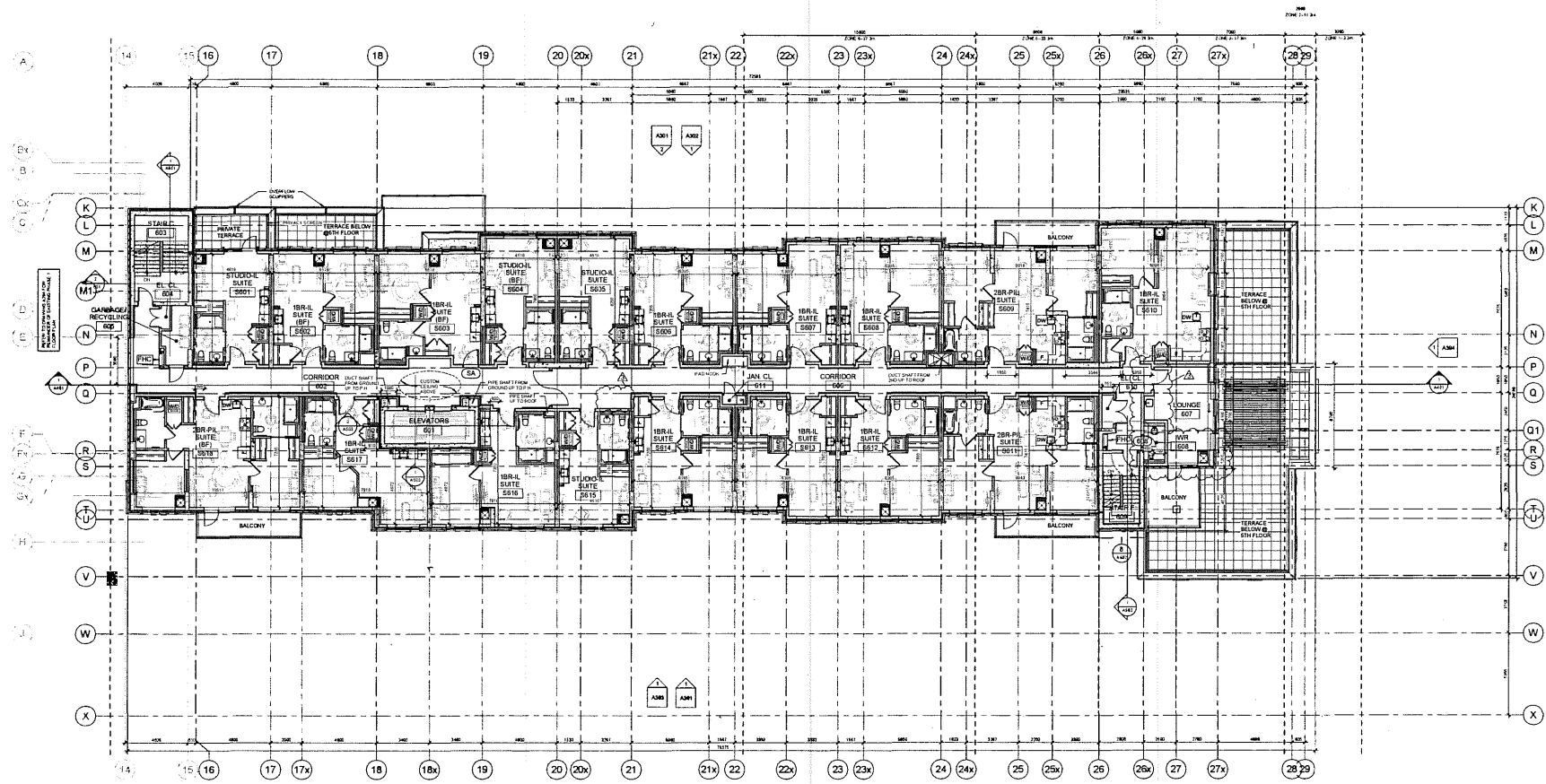
**PROPOSED RETIREMENT
DEVELOPMENT-PHASE 2**
AMICA UNIONVILLE INC.
SPA REFERENCE #14-120628-000-00-3C
34 MAIN STREET
MARKHAM, ONTARIO

Drawn by Author	Checked by Checker	Date Checked Issue Date	Project No. 17A156
Date Plotted 9/9/2019 3:47:19 PM			Scale 1" = 100'

A215

ALL DIMENSIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETAINED TO REQUEST
 THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT
 ALL DIMENSIONS ARE GIVEN IN MILLIMETERS UNLESS OTHERWISE INDICATED
 DO NOT SCALE DRAWINGS

REVISIONS AND DISTRIBUTION LOG			
NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
2	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
3	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
4	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
5	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
6	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
7	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
8	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
9	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
10	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
11	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
12	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
13	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
14	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
15	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
16	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
17	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
18	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
19	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
20	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
21	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
22	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
23	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
24	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
25	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
26	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
27	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
28	ISSUED FOR PERMIT	17/01/2019	CMV GROUP
29	ISSUED FOR PERMIT	17/01/2019	CMV GROUP



1 6TH FLOOR PLAN-PHASE 2
 1:100

CMV GROUP

100 Dundas Street West
 Suite 1000
 Toronto, Ontario
 M5G 1A8
 416-593-8888
 1-800-387-1821 1-800-387-1822

PROPOSED RETIREMENT DEVELOPMENT-PHASE 2
 AMICA UNIONVILLE INC.
 314-170838-090-00-00
 34 MAIN STREET
 MARKHAM, ONTARIO

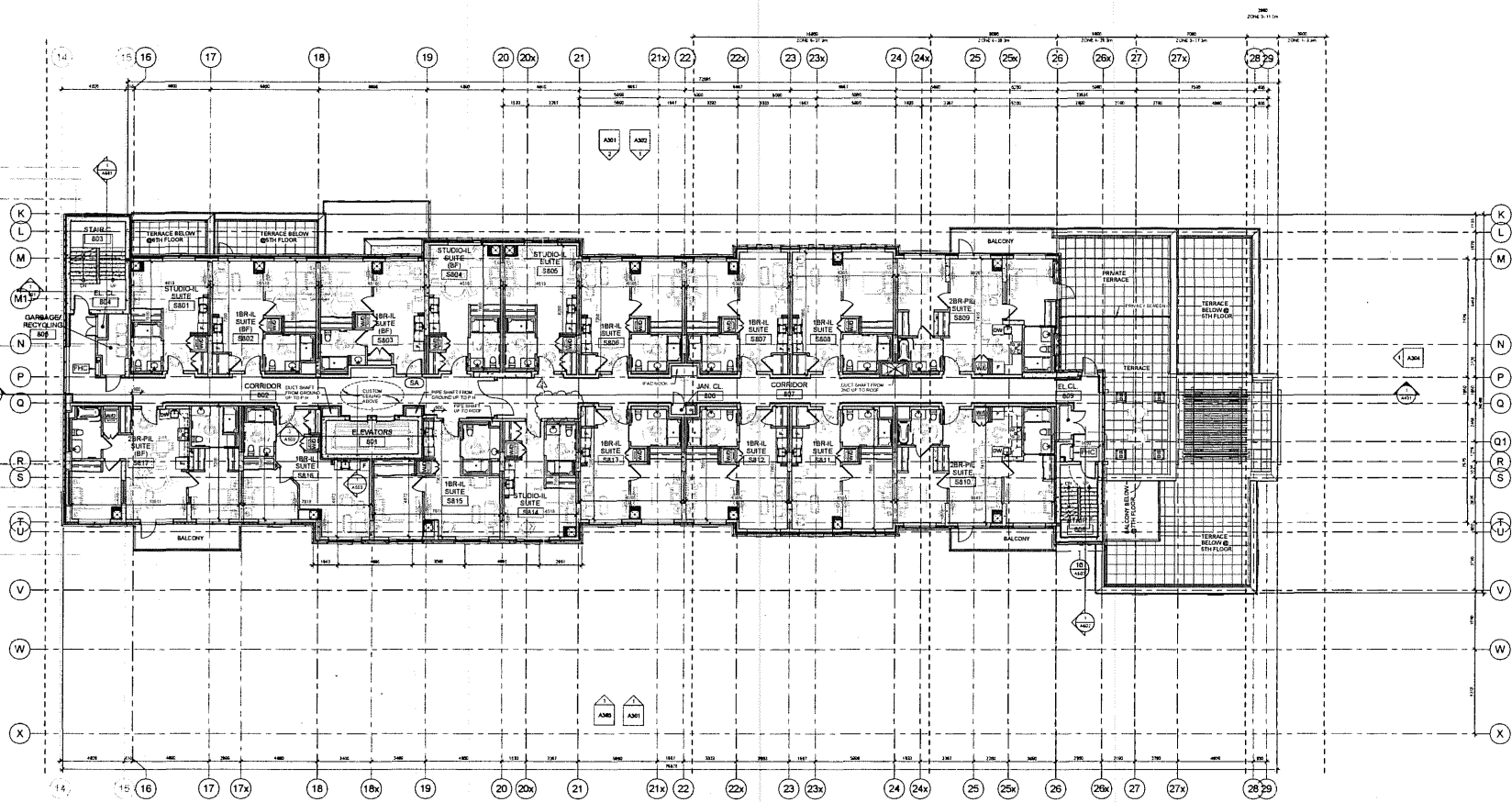
6TH FLOOR PLAN - PHASE 2

Drawn By	Checked By	Issue Date	17/01/2019
Author	Checker	Issue Date	17/01/2019
9/9/2019 3:47:43 PM			1:100


A216

4

REVISIONS AND DISTRIBUTION LOG			
No.	Date	By	Description
1	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
2	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
3	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
4	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
5	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
6	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
7	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
8	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
9	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
10	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
11	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
12	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
13	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
14	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
15	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
16	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
17	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
18	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
19	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
20	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
21	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
22	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
23	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
24	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
25	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
26	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
27	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
28	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION
29	2017.07.18	AM	ISSUED FOR PERMIT APPLICATION



1 8TH FLOOR PLAN-PHASE 2
1:100



1000 Lakeshore Blvd. East
 Suite 1000
 Scarborough, Ontario M1V 4Y4
 Tel: (416) 291-1111
 Fax: (416) 291-1112

PROPOSED RETIREMENT DEVELOPMENT-PHASE 2
 AMICA UNIONVILLE INC.
 SPA REFERENCE #14-120628-000-00-SC
 24 HAIN STREET
 MARKHAM, ONTARIO

Drawing No.
8TH FLOOR PLAN - PHASE 2

Drawn By	Checked By	Issue Date	Revision
Author	Checker	Issue Date	17A156
8/27/2019 3:47:59 PM		1:100	

A218

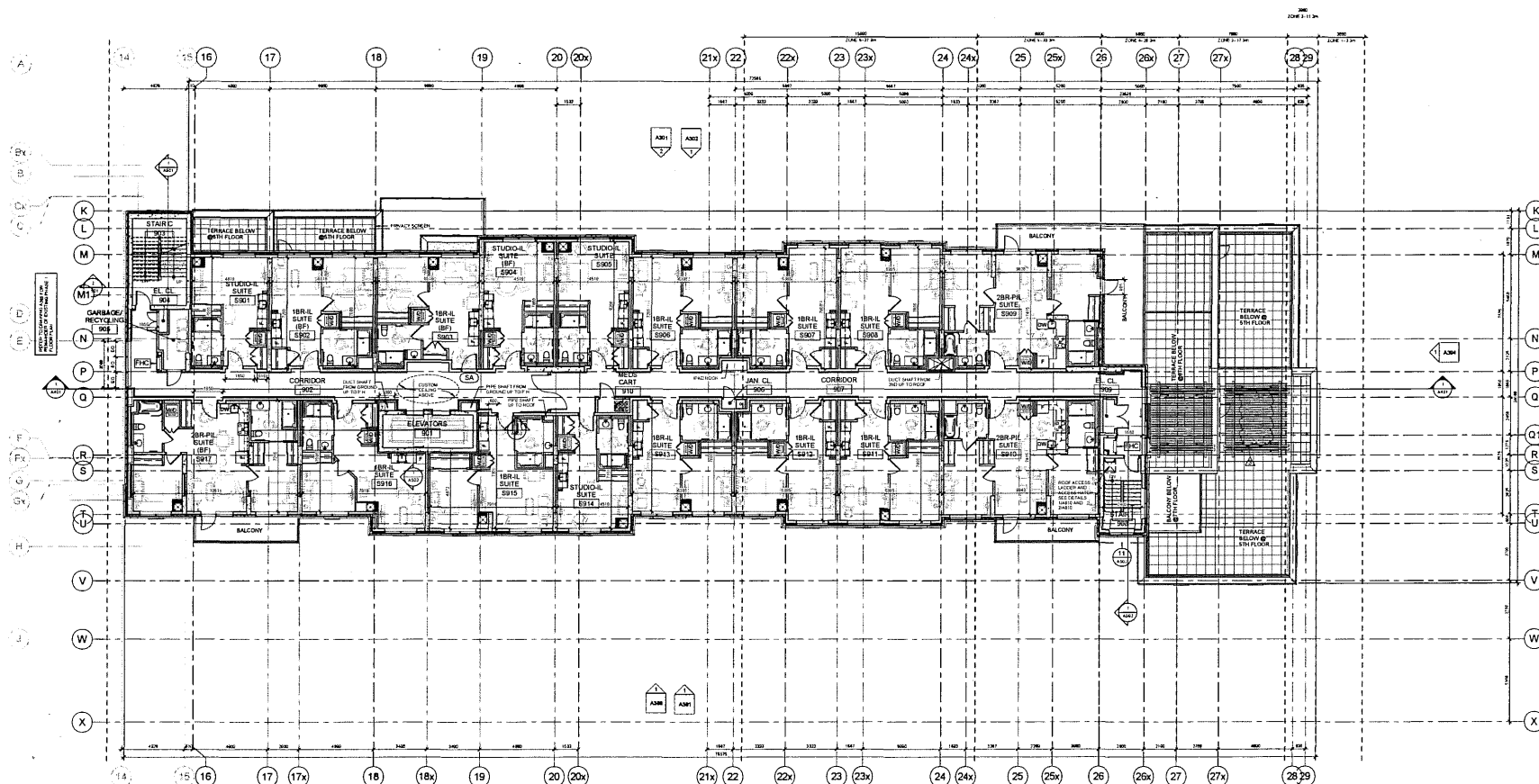
ALL DIMENSIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE IN ACCORDANCE WITH THE CANADIAN STANDARD FOR ARCHITECTURAL DRAWINGS (CSA S400-14) AND THE CANADIAN STANDARD FOR ARCHITECTURAL DIMENSIONS (CSA S400-14).

ALL DIMENSIONS ARE GIVEN IN MILLIMETERS UNLESS OTHERWISE INDICATED.

DATE: 09/27/19

REVISIONS AND DISTRIBUTION LOG

NO.	DATE	BY	DESCRIPTION
1	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
2	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
3	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
4	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
5	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
6	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
7	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
8	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
9	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
10	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
11	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
12	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
13	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
14	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
15	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
16	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
17	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
18	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
19	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
20	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
21	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
22	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
23	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
24	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
25	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
26	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
27	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
28	09/27/19	AM	ISSUED FOR PERMIT APPLICATION
29	09/27/19	AM	ISSUED FOR PERMIT APPLICATION



1 9TH FLOOR PLAN-PHASE 2
1:100

CMV GROUP

117 GERRARD STREET EAST
SUITE 101
TORONTO, ONTARIO M5E 1B3
416-593-8888
www.cmvgroup.com

PROPOSED RETIREMENT
DEVELOPMENT-PHASE 2

AMICA UNIONVILLE INC.
SPA REFERENCE #14-120638-000-00-SC
14 HART STREET
HARRISBURG, ONTARIO

9TH FLOOR PLAN - PHASE 2

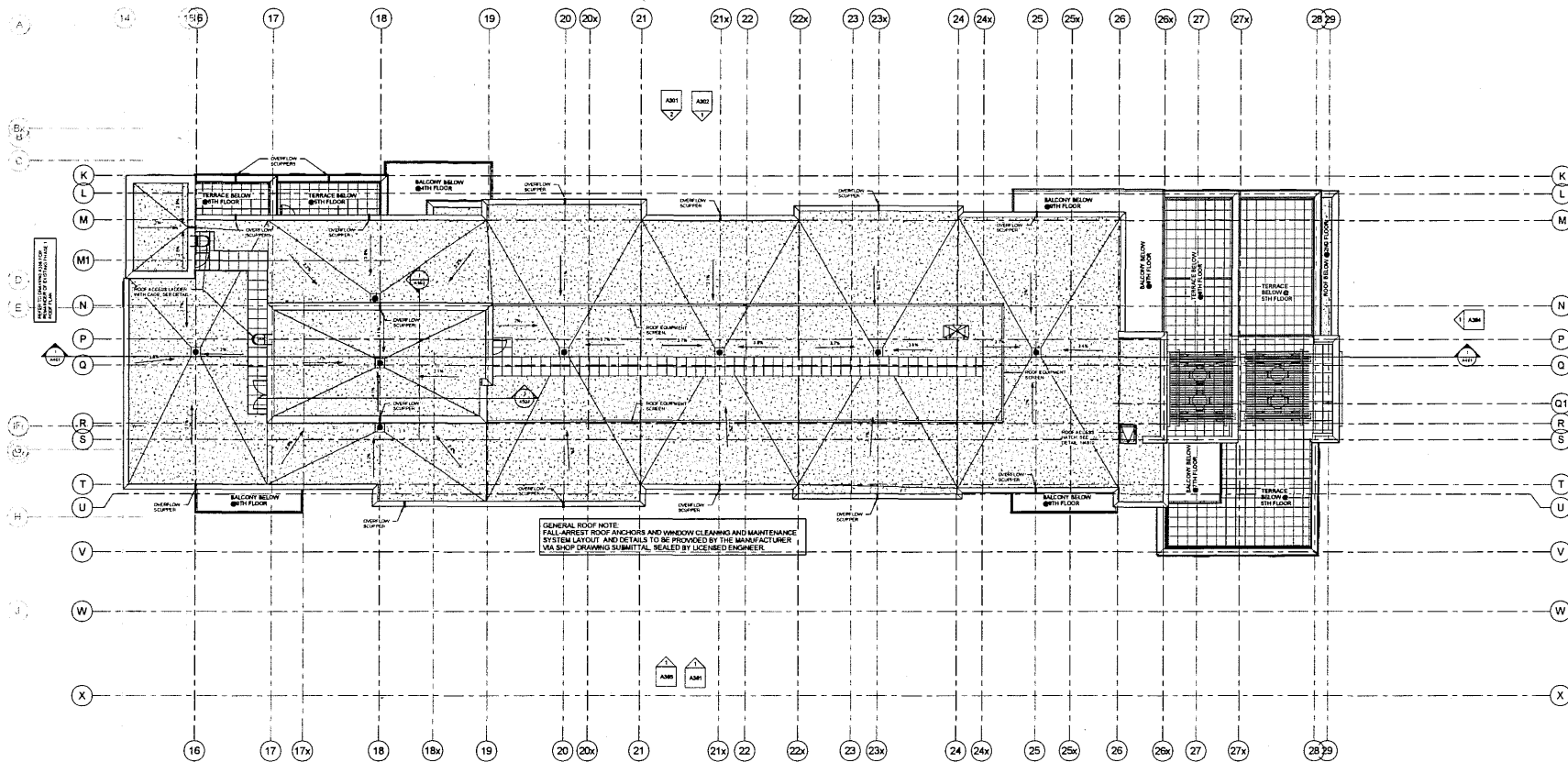
Author	Checker	Date	Issue
AM	AM	09/27/19	17A156

1:100

A219

4

1 ROOF PLAN-PHASE 2
1 : 100



1 11-ROOF PLAN-PHASE 2
1:100

ALL DIMENSIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE FOLLOWED TO THE LETTER.
THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS.
ALL DIMENSIONS ARE GIVEN IN MILLIMETERS UNLESS OTHERWISE INDICATED.
UNITS: METRIC

REVISIONS AND DISTRIBUTION LOG

NO.	DATE	DESCRIPTION
1	11/1/2019	ISSUED FOR PERMIT
2	11/1/2019	ISSUED FOR PERMIT
3	11/1/2019	ISSUED FOR PERMIT
4	11/1/2019	ISSUED FOR PERMIT
5	11/1/2019	ISSUED FOR PERMIT
6	11/1/2019	ISSUED FOR PERMIT
7	11/1/2019	ISSUED FOR PERMIT
8	11/1/2019	ISSUED FOR PERMIT
9	11/1/2019	ISSUED FOR PERMIT
10	11/1/2019	ISSUED FOR PERMIT
11	11/1/2019	ISSUED FOR PERMIT
12	11/1/2019	ISSUED FOR PERMIT
13	11/1/2019	ISSUED FOR PERMIT
14	11/1/2019	ISSUED FOR PERMIT
15	11/1/2019	ISSUED FOR PERMIT
16	11/1/2019	ISSUED FOR PERMIT
17	11/1/2019	ISSUED FOR PERMIT
18	11/1/2019	ISSUED FOR PERMIT
19	11/1/2019	ISSUED FOR PERMIT
20	11/1/2019	ISSUED FOR PERMIT
21	11/1/2019	ISSUED FOR PERMIT
22	11/1/2019	ISSUED FOR PERMIT
23	11/1/2019	ISSUED FOR PERMIT
24	11/1/2019	ISSUED FOR PERMIT
25	11/1/2019	ISSUED FOR PERMIT
26	11/1/2019	ISSUED FOR PERMIT
27	11/1/2019	ISSUED FOR PERMIT
28	11/1/2019	ISSUED FOR PERMIT
29	11/1/2019	ISSUED FOR PERMIT
30	11/1/2019	ISSUED FOR PERMIT
31	11/1/2019	ISSUED FOR PERMIT
32	11/1/2019	ISSUED FOR PERMIT
33	11/1/2019	ISSUED FOR PERMIT
34	11/1/2019	ISSUED FOR PERMIT
35	11/1/2019	ISSUED FOR PERMIT
36	11/1/2019	ISSUED FOR PERMIT
37	11/1/2019	ISSUED FOR PERMIT
38	11/1/2019	ISSUED FOR PERMIT
39	11/1/2019	ISSUED FOR PERMIT
40	11/1/2019	ISSUED FOR PERMIT
41	11/1/2019	ISSUED FOR PERMIT
42	11/1/2019	ISSUED FOR PERMIT
43	11/1/2019	ISSUED FOR PERMIT
44	11/1/2019	ISSUED FOR PERMIT
45	11/1/2019	ISSUED FOR PERMIT
46	11/1/2019	ISSUED FOR PERMIT
47	11/1/2019	ISSUED FOR PERMIT
48	11/1/2019	ISSUED FOR PERMIT
49	11/1/2019	ISSUED FOR PERMIT
50	11/1/2019	ISSUED FOR PERMIT

CMV GROUP

1111 Queen Street West
Toronto, Ontario M6H 1H4
Tel: 416-593-1111
Fax: 416-593-1112
Email: info@cmvgroup.com

PROPOSED RETIREMENT DEVELOPMENT-PHASE 2
AMKA UNIONVILLE INC.
SPA REFERENCE #14-120428-000-00-SC
34 HAIN STREET
MADISON, ONTARIO

Roof Plan - Phase 2

Author	Checker	Issue Date	Version
Author	Checker	Issue Date	17A156
11/1/2019 3:48:30 PM			1:100

A221 2

MURKIN BIRD FRIENDLY BUILDING CHECKLIST

Applicant to include check list on Elevation Drawings at first site plan submission. Drawings to be stamped and signed by an OAA member.

MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS
 At Grade Condition (check to confirm the below is applied)
 Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from finished grade.

Roof Landscape Condition (check to confirm one of the below is applied)
 Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from roof level finished grade.
 Development contains no glass panel within 16m from roof level finished grade.

Patterns (check to confirm one or more of the below are applied)
 Stripes
 Horizontal stripe spacing is less than 8cm on centre;
 Horizontal stripe spacing is less than 10cm on centre;
 Horizontal stripes widths are greater than 8.1mm and vertical stripes widths are greater than 6.1mm.

Other
 Dot size is larger than 5mm;
 Horizontal stripe spacing is less than 8cm on centre; and vertical stripe spacing is less than 10cm on centre.

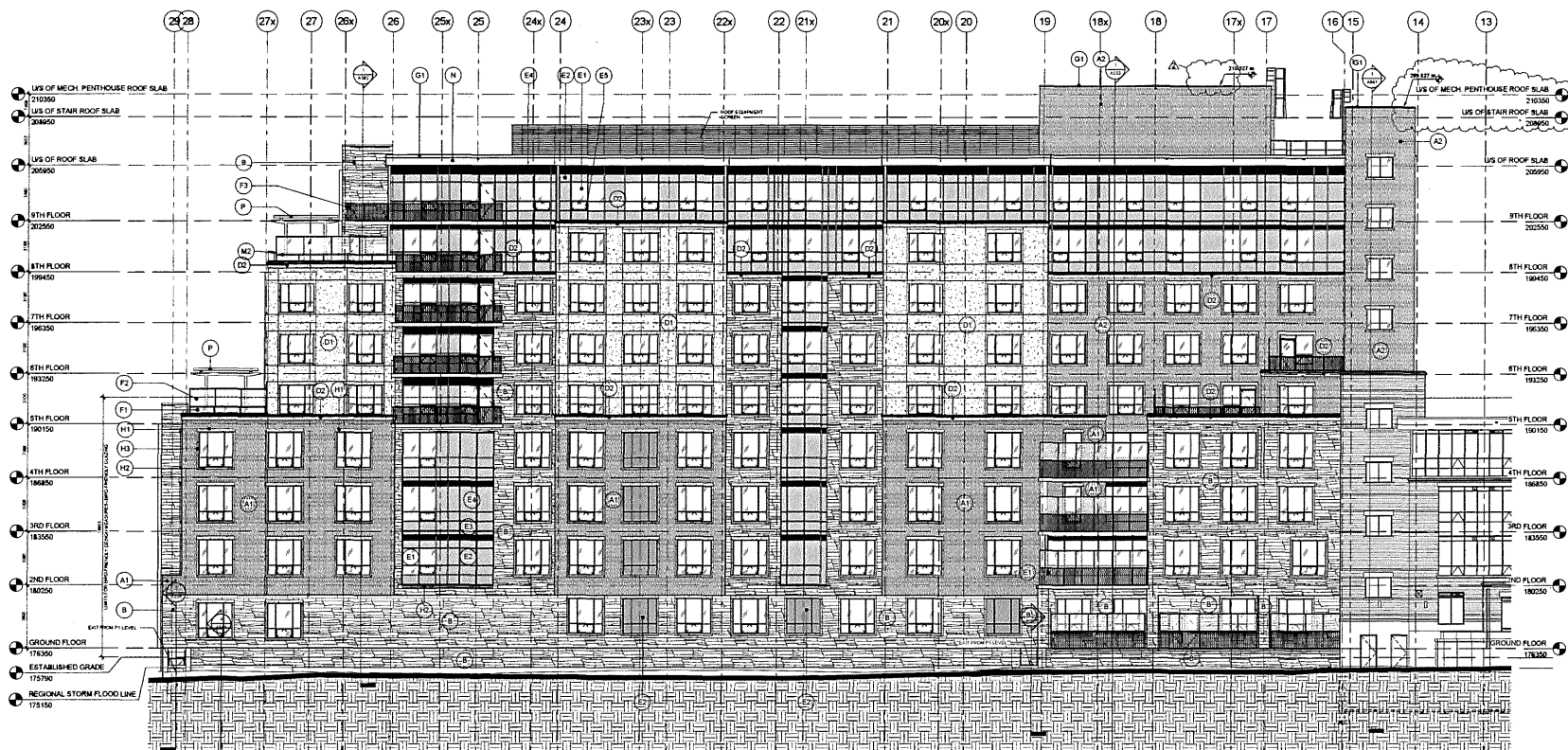
Significations (check to confirm one or more of the below is applied)
 Pattern is applied as striking or striking of glass, and pattern colour are high contrast in relation to the background.
 Pattern is applied as film on exterior surface of glass, and pattern colour are high contrast in relation to the background.

ALL ELEVATIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED TO THE ARCHITECT
 THE CONSULTING ENGINEER SHALL CHECK ALL CONSTRUCTIONS AND REPORT DISCREPANCIES TO THE ARCHITECT
 ALL CONSTRUCTIONS ARE GIVEN IN MILLIMETERS UNLESS OTHERWISE SPECIFIED
 DETAIL SCALE DRAWINGS

REVISIONS AND DISTRIBUTION LOG			
NO.	DATE	REVISION	BY
1	2019.09.10	ISSUED FOR PERMIT APPLICATION	CMV GROUP
2	2019.09.10	ISSUED FOR PERMIT APPLICATION	CMV GROUP
3	2019.09.10	ISSUED FOR PERMIT APPLICATION	CMV GROUP
4	2019.09.10	ISSUED FOR PERMIT APPLICATION	CMV GROUP

FINISHES LEGEND

- WALLS - EXTERIOR: BRICK, STONE, CONCRETE, ALUMINUM, STEEL, GLASS, etc.
- WALLS - INTERIOR: BRICK, STONE, CONCRETE, ALUMINUM, STEEL, GLASS, etc.
- FLOORS - EXTERIOR: CONCRETE, ALUMINUM, STEEL, GLASS, etc.
- FLOORS - INTERIOR: CONCRETE, ALUMINUM, STEEL, GLASS, etc.
- CEILING - EXTERIOR: CONCRETE, ALUMINUM, STEEL, GLASS, etc.
- CEILING - INTERIOR: CONCRETE, ALUMINUM, STEEL, GLASS, etc.
- ROOF - EXTERIOR: CONCRETE, ALUMINUM, STEEL, GLASS, etc.
- ROOF - INTERIOR: CONCRETE, ALUMINUM, STEEL, GLASS, etc.
- GLASS - EXTERIOR: ALUMINUM, STEEL, GLASS, etc.
- GLASS - INTERIOR: ALUMINUM, STEEL, GLASS, etc.
- PAINT - EXTERIOR: CONCRETE, ALUMINUM, STEEL, GLASS, etc.
- PAINT - INTERIOR: CONCRETE, ALUMINUM, STEEL, GLASS, etc.
- FINISHES - EXTERIOR: CONCRETE, ALUMINUM, STEEL, GLASS, etc.
- FINISHES - INTERIOR: CONCRETE, ALUMINUM, STEEL, GLASS, etc.



1 NORTH ELEVATION-PHASE 2
 1:100

PROPOSED RETIREMENT DEVELOPMENT-PHASE 2
 AMICA LIVING INC.
 SPA REFERENCE #14-120428-000-00-SC
 24 MAIN STREET
 ARLINGTON, ONTARIO

NORTH ELEVATION-PHASE 2

Drawn By	Checked By	Date	Scale
9/17/2019	2:49:34 PM	1:100	

A302
 4

MARLBOROUGH BIRD FRIENDLY BUILDING CHECKLIST

Applicant to include checklist on Elevation Drawings at first site plan submission. Drawings to be stamped and signed by an OAA member.

MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS

All glass facades (subject to approval) shall be applied:
 Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 15m from roof level finished grade.

Roof Landscape Condition (subject to approval) shall be applied:
 Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 15m from roof level finished grade.
 Development contains no glass panel within 15m from roof level finished grade.

Patterns (subject to approval) shall be applied:
 Horizontal strip spacing is less than 50mm on centre;
 Vertical strip spacing is less than 100mm on centre;
 Horizontal strip widths are greater than 3.2mm; and
 Vertical strip widths are greater than 6.3mm.

Dot size is larger than 5mm;
 Horizontal strip spacing is less than 50mm on centre, and
 Vertical strip spacing is less than 100mm on centre.

Significations (subject to approval) shall be applied:
 Pattern is applied as finish or on top of glass, and
 Pattern colour is high contrast in relation to the background.

Pattern is applied as film on exterior surface of glass, and
 Pattern colour is high contrast in relation to the background.

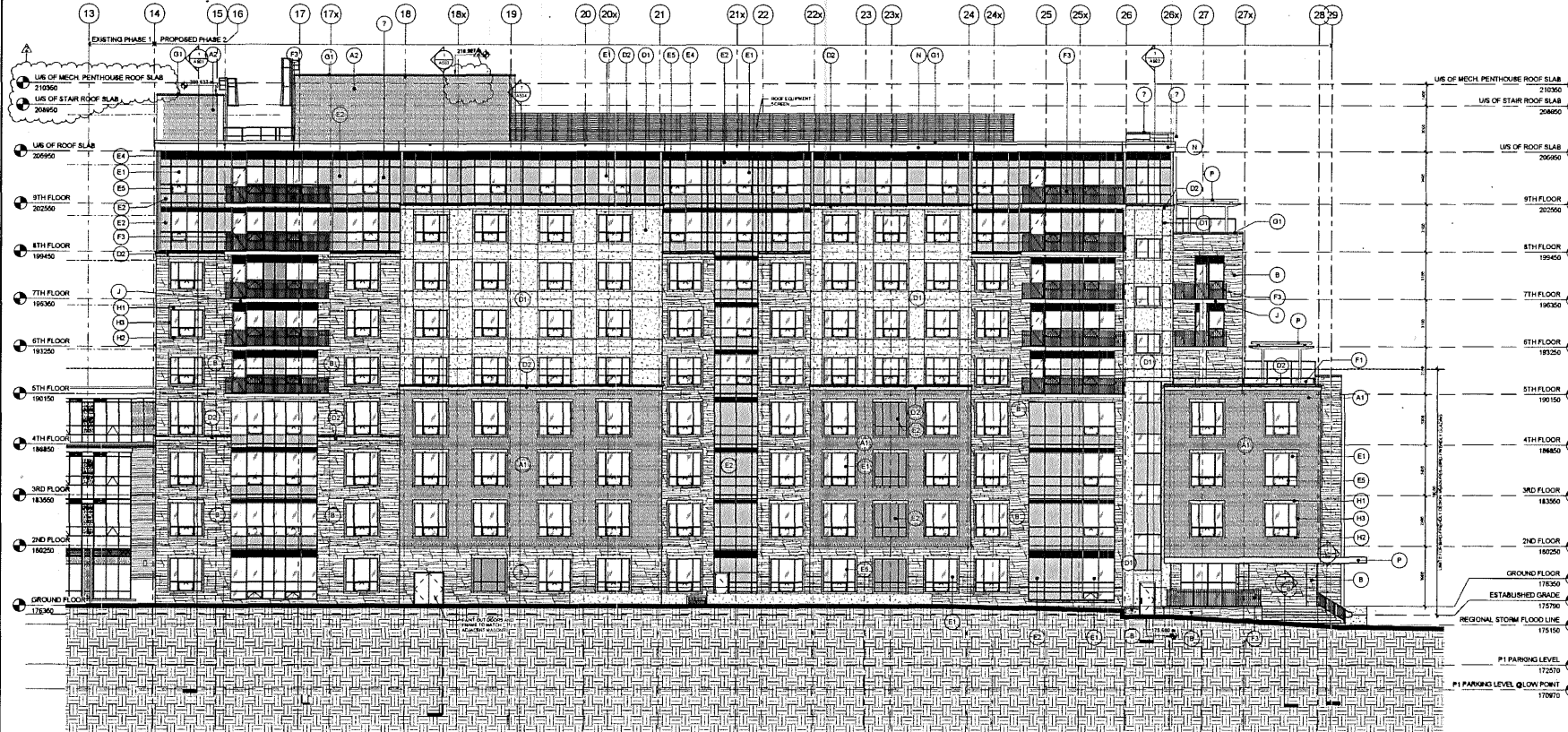
ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED TO ARCHITECT.
 THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 ALL DIMENSIONS ARE GIVEN IN MILLIMETERS UNLESS OTHERWISE NOTED.
 DRAWING SCALE: 1/8" = 1'-0"

REVISIONS AND DISTRIBUTION LOG

NO.	DATE	DESCRIPTION
1	2018/01/15	ISSUED FOR PERMIT
2	2018/01/15	ISSUED FOR PERMIT
3	2018/01/15	ISSUED FOR PERMIT
4	2018/01/15	ISSUED FOR PERMIT
5	2018/01/15	ISSUED FOR PERMIT
6	2018/01/15	ISSUED FOR PERMIT
7	2018/01/15	ISSUED FOR PERMIT
8	2018/01/15	ISSUED FOR PERMIT
9	2018/01/15	ISSUED FOR PERMIT
10	2018/01/15	ISSUED FOR PERMIT

FINISHES LEGEND:

- ARCHITECTURAL PRECAST CONCRETE:
 - ARCHITECTURAL PRECAST CONCRETE: LIGHT GREY
 - ARCHITECTURAL PRECAST CONCRETE: MEDIUM GREY
 - ARCHITECTURAL PRECAST CONCRETE: DARK GREY
 - ARCHITECTURAL PRECAST CONCRETE: BROWN
 - ARCHITECTURAL PRECAST CONCRETE: RED
 - ARCHITECTURAL PRECAST CONCRETE: BLUE
 - ARCHITECTURAL PRECAST CONCRETE: GREEN
 - ARCHITECTURAL PRECAST CONCRETE: YELLOW
 - ARCHITECTURAL PRECAST CONCRETE: ORANGE
 - ARCHITECTURAL PRECAST CONCRETE: PURPLE
 - ARCHITECTURAL PRECAST CONCRETE: PINK
 - ARCHITECTURAL PRECAST CONCRETE: WHITE
 - ARCHITECTURAL PRECAST CONCRETE: BLACK
 - ARCHITECTURAL PRECAST CONCRETE: GREY
 - ARCHITECTURAL PRECAST CONCRETE: BROWN
 - ARCHITECTURAL PRECAST CONCRETE: RED
 - ARCHITECTURAL PRECAST CONCRETE: BLUE
 - ARCHITECTURAL PRECAST CONCRETE: GREEN
 - ARCHITECTURAL PRECAST CONCRETE: YELLOW
 - ARCHITECTURAL PRECAST CONCRETE: ORANGE
 - ARCHITECTURAL PRECAST CONCRETE: PURPLE
 - ARCHITECTURAL PRECAST CONCRETE: PINK
 - ARCHITECTURAL PRECAST CONCRETE: WHITE
 - ARCHITECTURAL PRECAST CONCRETE: BLACK



1 SOUTH ELEVATION - PHASE 2
 1:100

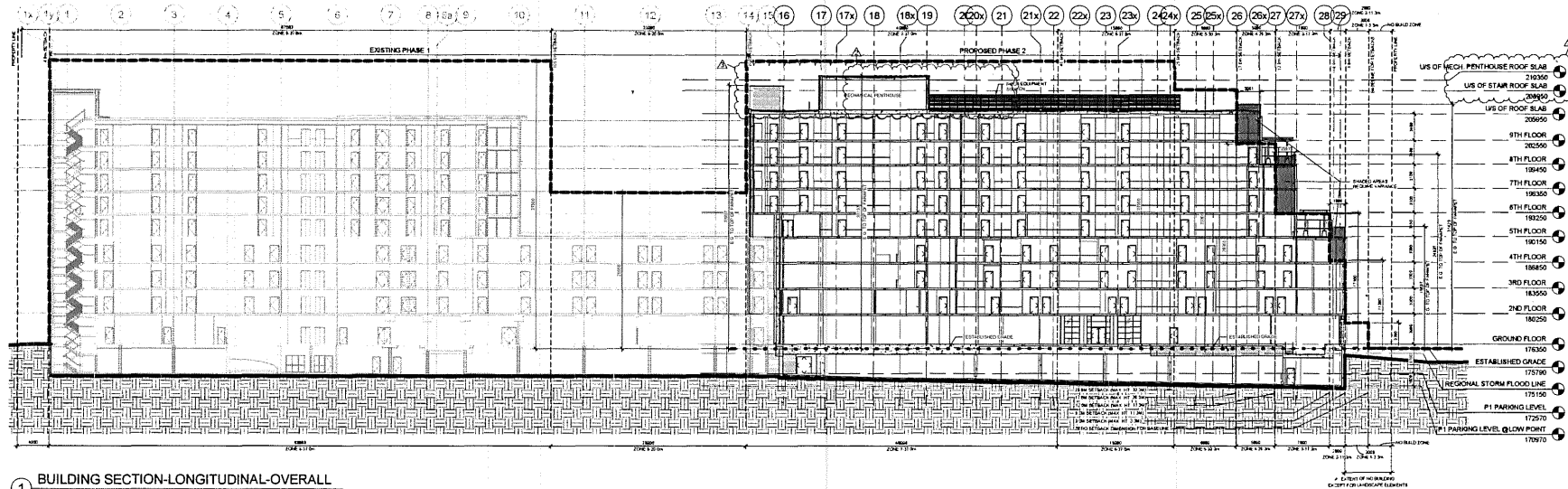
PROPOSED RETIREMENT DEVELOPMENT-PHASE 2

AMICA UNIONVILLE INC.
 SPA REFERENCE #14-120428-000-00-SC
 2400 AVENUE
 MARKHAM, ONTARIO

SOUTH ELEVATION-PHASE 2

DATE	BY	CHECKED	DATE	SCALE
2018/01/15	17A156			1:100

A303



1 BUILDING SECTION-LONGITUDINAL-OVERALL
1:200

ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED TO THE ARCHITECT.
THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT.
ALL DIMENSIONS ARE GIVEN IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
DO NOT SCALE DRAWINGS.

REVISIONS AND DISTRIBUTION LOG

NO.	DATE	BY	REVISION
1	2019.07.15	CMV GROUP	ISSUED FOR PERMIT
2	2019.07.15	CMV GROUP	ISSUED FOR PERMIT
3	2019.07.15	CMV GROUP	ISSUED FOR PERMIT
4	2019.07.15	CMV GROUP	ISSUED FOR PERMIT
5	2019.07.15	CMV GROUP	ISSUED FOR PERMIT
6	2019.07.15	CMV GROUP	ISSUED FOR PERMIT
7	2019.07.15	CMV GROUP	ISSUED FOR PERMIT
8	2019.07.15	CMV GROUP	ISSUED FOR PERMIT
9	2019.07.15	CMV GROUP	ISSUED FOR PERMIT
10	2019.07.15	CMV GROUP	ISSUED FOR PERMIT

UP OF HIGH PENTHOUSE ROOF SLAB	210350
UP OF STAIR ROOF SLAB	210350
UP OF ROOF SLAB	210350
9TH FLOOR	202350
8TH FLOOR	198450
7TH FLOOR	194550
6TH FLOOR	190650
5TH FLOOR	186750
4TH FLOOR	182850
3RD FLOOR	178950
2ND FLOOR	175050
GROUND FLOOR	171150
ESTABLISHED GRADE	171150
REGIONAL STORM FLOOD LINE	171150
P1 PARKING LEVEL	172670
P1 PARKING LEVEL CLOW POINT	170670

CMV GROUP
ARCHITECTS

117 Dundas Avenue
Toronto, Ontario
M5T 1A5
Canada
Tel: 416.593.1800 Fax: 416.593.1801

PROPOSED RETIREMENT DEVELOPMENT-PHASE 2
AMICA UNIONVILLE INC.
SPA REFERENCE #14-135628-000-00-SC
34 MAIN STREET
MARKHAM, ONTARIO

BUILDING SECTIONS			
Drawn By	Checked By	Issue Date	17A156
Author	Checker	Issue Date	17A156
9/9/2019 3:50:30 PM			1:200
Drawn By	Checked By	Issue Date	

A401 **5**



November 1, 2019

CFN 60816.11
X Ref CFN 50301.16 & 60777.01

By Email Only (email: JLeung@markham.ca)

Mr. Justin Leung
Secretary-Treasurer
Committee of Adjustment
City of Markham
101 Town Centre Boulevard
Markham, ON L3R 9W3

Dear Mr. Leung:

**Re: A/93/19 (Minor Variance Application)
B/15/19 (Consent Application)
34 Main Street Unionville, City of Markham
Owner: Amica Unionville Inc.**

Further to our previous comment letter dated September 26, 2019, this letter acknowledges receipt of the revised submission associated with the above noted application. As such, the comments within Toronto and Region Conservation Authority (TRCA) staff have reviewed the revised circulation and our comments are provided herein.

Purpose of the Applications
A/93/19

It is our understanding that the applicant is requesting relief from the requirements of By-law 2004-196, as amended, as it relates to a proposed 9-storey retirement home with 144 units and 1 level of below grade parking on the subject property.

Requested permission:

- a) Amending By-law 2010-48, Section 6.8.2(a):
a minimum width of landscaped strip along the southern lot line of 0m, whereas the By-law requires a minimum width of 3 m;
- b) Amending By-law 2010-48, Schedule E2:
a maximum of 294 retirement rooms of which a maximum of 16 may include cooking facilities, whereas the By-law permits a maximum 283;
- c) Amending By-law 2010-48, Schedule E3:
a maximum height of 16 m in height layer 2, whereas the By-law permits a maximum height of 11.3 m;
- d) Amending By-law 2010-48, Schedule E3:
a maximum height of 25 m in height layer 3, whereas the By-law permits a maximum height of 17.3m;

- e) Amending By-law 2010-48, Schedule E3:
a maximum height of 32m in height layer 4, whereas the By-law permits a maximum height of 26.3m;
- f) Amending By-law 2010-48, Schedule E4:
a minimum setback of 9.90m from the south lot line, whereas the By-law requires a minimum of 11m;
- g) Amending By-law 2010-48, Schedule E4:
a minimum north building setback at ground level of 5m, whereas the By-law requires 7m; and,
- h) Amending By-law 2010-48, Schedule E4, Exception*4: an underground parking garage to encroach 10.5 m into the south property line setback, whereas the By-law permits 8m.

B/15/19

Requesting provisional consent to:

- a) Establish easements on the subject property for access and maintenance of the sanitary sewer in favour of Phase 3, Part 5, owned by Safe & Sound Storage Inc., over Parts 6, 7, 8 and 9, owned by Amica Unionville Inc.
The proposed consent is to formalize a service already approved by the City and constructed.

Applicable TRCA Regulations and Policies

The TRCA provides our technical review comments through a number of roles. This includes TRCA's commenting role under the *Planning Act*; the Conservation Authority's delegated responsibility of representing the provincial interest of natural hazards encompassed by Section 3.1 of the Provincial Policy Statement (2014); TRCA's Regulatory Authority under Ontario Regulation 166/06, as amended (Development, Interference with Wetlands, and Alterations to Shorelines and Watercourses); and our Memorandum of Understanding with the Region of York where we advise our municipal partners on matters related to Provincial Policies relevant to TRCA's jurisdiction.

Ontario Regulation 166/06, as amended:

Based on the available information at this time, the subject property is within TRCA's Regulated Area as it is partially within a Regulatory Storm floodplain associated with the Rouge River Watershed. In accordance with Ontario Regulation 166/06, a permit is required from the TRCA prior to any of the following works taking place in the Regulated Area:

- a) a straightening, changing, diverting or interfering in any way with the existing channel of a river, creek, stream or watercourse, or for changing or interfering in any way with a wetland;
- b) development, if in the opinion of the Authority, the control of flooding, erosion, dynamic beaches or pollution or the conservation of land may be affected by the development.

Development is defined as:

- i. The construction, reconstruction, erection or placing of a building or structure of any kind;
- ii. Any change to a building or structure that would have the effect of altering the use or potential use of the building or structure, increasing the size of the building or structure or increasing the number of dwelling units in the building or structure;
- iii. Site grading, or;
- iv. The temporary or permanent placing, dumping or removal of any material, originating on the site or elsewhere.

Living City Policies for Planning and Development in the Watersheds of the TRCA:

The Living City Policies for Planning and Development in the Watersheds of the TRCA (LCP) is a TRCA policy document that guides the implementation of TRCA's legislated and delegated roles and responsibilities in the planning and development approvals process. The LCP describes a "Natural System" of water resources, natural features and areas, natural hazards, potential natural cover and/or buffers. TRCA policies generally require that natural features within the "Natural System" be protected from development, site alteration and infrastructure.

Application History

The TRCA has been involved in reviewing the related application for Site Plan approval (City File No. SC 14 120628) to facilitate the development of Phase II of a retirement residence complex on the subject property. Based on TRCA's most recent comment letter dated July 19, 2019 TRCA staff are satisfied that our previous comments have been addressed.

Application Specific Comments

Based on our review of the material provided in support of this Minor Variance application and Consent application, the proposed retirement residence complex development is consistent with what was proposed under the related Site Plan application. However, TRCA staff note that floodplain modeling for the Rouge River Watershed has recently been updated and the Regional Storm floodplain elevation that applies to this location is 175.00 masl (from 174.80 masl previously). As such, the plans and drawings submitted as part of the owner's future TRCA Permit Application will need to be revised to show the updated floodplain of 175.00 masl, proposed buffers to the updated floodplain and floodproofing elevation of 175.30 (i.e. 175.00 + 0.3m freeboard), and demonstrate that the proposed development has been floodproofed.

Application Review Fee

Please note that TRCA has received the combined review fee of \$1,400 for the subject applications. Additional review fees will be required for in support of the owner's future TRCA Permit Application, which will be based on the fee schedule in effect at the time of application.

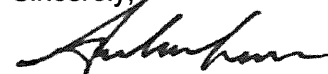
Recommendation

In light of the above, TRCA staff have no objection to the Minor Variance and Consent applications, subject to the following conditions:

- That the applicant successfully obtains a permit from the TRCA pursuant to Ontario Regulation 166/06, as amended, for the proposed development. Please note that this will involve the submission of updated plans demonstrating that the proposed development has been setback from the floodplain and floodproofed.

I trust these comments are of assistance. Should you have any questions, please do not hesitate to contact me at the undersigned.

Sincerely,



Andrea Lam
Planner I
Development Planning and Permits
Extension 5306

AL/mb

