

Memorandum to the City of Markham Committee of Adjustment

October 13, 2022

File: A/146/22
Address: 339 Main Street North, Markham Village
Applicant: Gregory Design Group (Shane Gregory)
Agent: Gregory Design Group (Shane Gregory)
Hearing Date: Wednesday, November 23, 2022

The following comments are provided on behalf of the Heritage Section staff for the property municipally-known as 339 Main Street North (the “subject property”):

The applicant is requesting relief from the following requirements of By-law 1229, as amended, to permit:

a) Section 11.3 (a)(i):

a maximum building height (accessory building) of 21'-3”, whereas the By-law permits a maximum building height of 12'-0” to the midpoint;

b) Section 6.1:

a secondary dwelling unit, whereas the By-law does permits only one dwelling unit per lot; and

c) Section 3.2:

a dwelling unit within an accessory building, whereas the By-law does not permit an accessory building to be used for human habitation.

as it relates to a proposed two-storey garage with loft.

BACKGROUND

Property Description

The approximately 920m² (9903ft²) subject property is designated under Part V of the Ontario Heritage Act as a constituent property of the Markham Village Heritage Conservation District (the “MVHCD”), and contains a one-and-a-half storey detached dwelling with rear yard garage that were both constructed in 1948 as per MPAC records.

The subject property is located on the east side of Main Street North between Deer Park Lane to the north, and Pilkey's Lane to the south. Adjacent built form and land use consists of a mixture of low-rise residential and commercial uses along Main Street North, and low-rise residential uses on the neighbouring side streets (e.g. Wales Avenue).

The subject property is bound by a privately-owned laneway running adjacent to its northern lot line. This laneway provides pedestrian access from Main Street North to a townhouse complex along Wales Avenue. The townhouse complex dates from 1973, as per MPAC records, and is located outside the boundaries of the MVHCD.

A development application has been submitted for the property located immediately to the north of the privately-owned laneway (municipally-known as 347 Main Street North). The City has received concurrent Official Plan and Zoning By-law amendment applications to remove and replace the existing car dealership with fifteen townhouses (PLAN 19 123553 & PLAN 21 140439). At the time of writing, development permissions have not been granted for the property.

Proposal

The applicant is proposing to remove and replace the existing detached garage in the rear yard with a new accessory building containing a secondary dwelling unit above a two-car garage. Vehicular access to the proposed garage will be achieved via the existing driveway from Main Street North. No changes are being proposed to the exterior of the existing dwelling (refer to Appendix D for conceptual drawings).

Provincial Policies

More Homes, More Choice Act, 2019

The *More Homes, More Choice Act, 2019*, S.O. 2019, c. 9 – (Bill 108), received Royal Assent on June 6, 2019 and portions were proclaimed on September 3, 2019. The proclaimed portions of Bill 108 amended the *Planning Act, R.S.O. 1990, c. P.13*, as amended, to require Official Plans to contain policies providing for two residential units in detached, semi-detached and rowhouse (townhouse) dwellings, as well as permitting a residential unit in ancillary structures to a detached, semi-detached, or rowhouse dwelling. Under this legislation, “second suites” or “secondary suites” are now referred to as “additional residential units”, and the terms are used synonymously in this memorandum.

Provincial Policy Statement, 2020

Section 1.4.3 of the *Provincial Policy Statement, 2020*, requires planning authorities to provide for an appropriate range and mix of housing options and densities to meet the affordable housing needs of current and future residents. Amongst other means, this can be achieved by permitting and facilitating residential intensification, including additional residential units, and redevelopment by accommodating a significant supply and range of housing options through intensification and redevelopment while taking into account existing building stock.

A Place to Grow: Growth Plan for the Greater Golden Horseshoe, 2019 (Growth Plan, 2019)

Section 2.1.4 (c) of the *Growth Plan, 2019* requires municipalities to provide a diverse range and mix of housing options including second units to support complete communities.

Official Plan, Zoning and Markham Village Heritage Conservation District Plan

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The Official Plan (OP) designates the subject property “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings. The OP also contains criteria for the establishment of secondary suites in Section 8.13.8 which states:

“That in considering an application to amend the Zoning By-law to permit the establishment of a secondary suite where provided for in this Plan, Council shall be satisfied that an appropriate set of development standards are provided for in the Zoning By-law including:

- a) the building type in which the secondary suite is contained;*
- b) the percentage of the floor area of the building type devoted to the secondary suite;*
- c) the number of dwelling units permitted on the same lot;*

- d) *the size of the secondary suite;*
- e) *the applicable parking standards; and,*
- f) *the external appearance of the main dwelling.”*

A “Secondary Suite” in the OP is defined as:

“...a second residential unit in a detached house, semi-detached house or rowhouse that consists of one or more rooms designed, occupied or intended for use, including occupancy, by one or more persons as an independent and separate residence in which a facility for cooking, sleeping facilities and sanitary facilities are provided for the exclusive use of such person or persons.”

Section 4.1.2.6 of the OP contains policies to support further diversification of the housing stock and rental housing tenure by permitting secondary suites within existing and new single detached, semi-detached and rowhouse dwellings in accordance with Section 3.5.22 of the Regional Official Plan and subject to appropriate zoning, development criteria, and standards.

Section 8.2.3.1 and 8.2.2.3 of the OP provides the following policy direction relevant to the proposal:

“... to respect the physical character of established neighbourhoods including heritage conservation districts; and

*“to provide for the following building types on lands designated ‘Residential Low Rise’:
“coach house located above a garage on a laneway”*

As defined in the OP, a coach house *“means a second residential unit located above a private garage in either the main building or an accessory building on the same lot”.*

Further direction is provided in the following Area and Site Specific Policy that encompasses the MVHCD (refer to Section 9.13.4.1):

“build upon the diverse characteristics of the Markham Village Heritage Centre including: a variety of residential housing forms, tenures and densities”

Zoning By-Law 1229

The subject property is zoned R1 under By-law 1229, as amended, which does not permit secondary dwelling units.

MVHCD Plan

Section 4.2.2 (“Residential: Setback & Siting”) of the MVHCD Plan provides the following direction relevant to the proposal:

- *New buildings and their site features such as garages, fences, etc. should correspond and complement buildings on adjacent properties unless the adjacent structures are non-conforming;*

- *Site features such as garages, parking, etc. should be inconspicuous and preferably separate from the "public face" of the building. Historically such items were located in the service areas such as rear and side yards.*

Zoning Preliminary Review (ZPR) Not Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. It is the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Secondary Dwelling Unit

The City of Markham is committed to promoting affordable and shared housing opportunities. Secondary dwelling units help the City increase the availability of affordable housing forms and provide support to achieve its affordable housing target required by the Province.

The proposed second residential unit in the proposed accessory building/garage does not strictly conform to the OP definition of a 'Secondary Suite', since it is not located within a detached, semi-detached, or rowhouse dwellings. The proposed secondary suite more closely meets the OP's definition under "Residential Low Rise" of a coach house, which is a "second residential unit located above a private garage in either the main building or an accessory building on the same lot, on a laneway", although the proposed accessory building is not located on a lane.

Despite the proposed secondary dwelling unit not precisely meeting either Official Plan definition, the intent of the Plan is clearly to provide for secondary dwelling units on single residential lots, where appropriate. As such, City staff are of the opinion that the application meets the criteria under Sections 8.2.2.3, 8.13.8 and 9.13.4.1 of the 2014 Official Plan for the establishment of a secondary dwelling unit and therefore have no objections.

Fire and Emergency Services

Fire and Emergency Services Department has no objections provided that:

- 1) A dedicated and unobstructed 1.2m concrete or asphalt walkway is installed leading from Main Street North to the principal entrance of the accessory building; and

- 2) An automatic sprinkler system is installed in a manner that protects all areas of the accessory building.

Should this application be approved, the applicant will also be required to obtain a building permit which ensures the secondary suite will be in compliance with Building Code and Fire Code regulations, and will be required to register the secondary dwelling unit with the Fire Department prior to the occupancy of the unit.

Increase in Maximum Building Height

The applicant is requesting relief to permit a maximum building height of 6.48 m (21.3 ft), whereas the By-law permits a maximum building height of 3.66 m (12 ft). This represents an increase of 2.82 m (9.25 ft). Note that the By-law calculates building height using the vertical distance of building or structure measured between the level of the crown of the street and highest point of the roof surface.

Heritage Section staff have no objection to the proposed variance as the accessory building will be subordinate in scale to the heritage dwelling, and will have limited visibility from the public realm. As such, the scale and siting of the proposed accessory building conforms to direction in the MVHCD Plan. Removal of the existing accessory building is also not of concern from a heritage perspective given its limited cultural heritage value.

To address concerns regarding privacy and overlook, Urban Design staff have recommended an increased setback (minimum 3.0m) between the proposed accessory building and the eastern property line to accommodate the installation of vegetative screening and a privacy fence adjacent to the neighbouring townhouse complex. As part of a future Site Plan Control review process, Urban Design staff will also work with the applicant on window configuration on the north and rear (east) elevations of the coach house to ensure adequate daylighting while providing privacy for neighbouring properties.

ADVISORY BODIES

Heritage Markham Committee

Heritage Markham reviewed the application at its meeting on September 14, 2022 and had no objection from a heritage perspective to the requested variances (refer to Appendix C for the meeting extract).

PUBLIC INPUT SUMMARY

No written submissions were received as of October 13, 2022. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input, if applicable, in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "B" for conditions to be attached to any approval of this application.

PREPARED BY:

A handwritten signature in black ink, appearing to read "E. Manning".

Evan Manning, Planner, Senior Heritage Planner

REVIEWED BY:

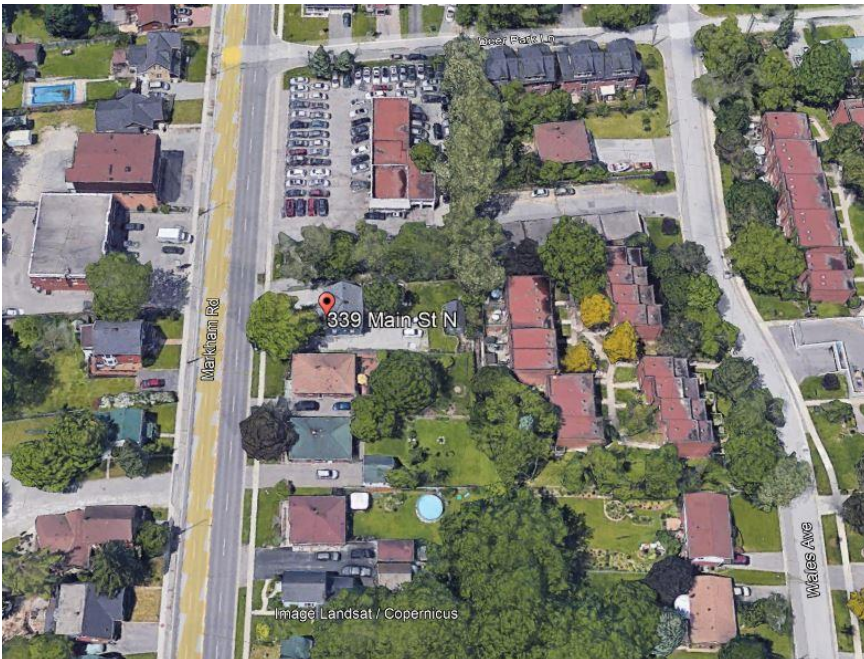
A handwritten signature in black ink, appearing to read "Regan Hutcheson".

Regan Hutcheson, Development Manager, Heritage District

APPENDIX "A"
LOCATION AND IMAGES OF THE SUBJECT PROPERTY



Property map showing the location of the subject property [outlined in yellow] (Source: City of Markham)



The west (primary) elevation of 339 Main Street North [above] and an aerial image of the subject property [below] (Source: Google)

APPENDIX “B”

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/146/22

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the batch stamped plans attached as Appendix B to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. That the owner implement and maintain all of the works required in accordance with the conditions of this variance;
4. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
5. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations;
6. Submission of detailed drawings showing compliance with the fire safety measures as described in this report, and to the satisfaction of the Fire Chief or designate;
7. That the set back of the proposed accessory building from the eastern property line be increased to a minimum of 3.0 metres, vegetative screening be introduced, and that any other mitigation measures required to ensure adequate privacy for neighbouring properties be detailed during the Site Plan Control review process to the satisfaction of the Senior Manager of Urban Design;
8. Submission of a detailed Siting, Lot Grading and Servicing Plan designed and stamped by a Professional Engineer/Ontario Land Surveyor/Landscape Architect satisfactory to the Director of Engineering, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Engineering or designate.

CONDITIONS PREPARED BY:

A handwritten signature in black ink, appearing to read 'E. Manning'.

Evan Manning, Planner, Senior Heritage Planner

**APPENDIX “C”
HERITAGE MARKHAM EXTRACT**

**HERITAGE MARKHAM
EXTRACT**

Date: September 14, 2022

To: R. Hutcheson, Manager of Heritage Planning
E. Manning, Senior Heritage Planner

EXTRACT CONTAINING ITEM # 6.1 OF THE NINTH HERITAGE MARKHAM
COMMITTEE MEETING HELD ON September 14,
2022

6.1 COMMITTEE OF ADJUSTMENT

VARIANCE PROPOSED COACH

HOUSE

339 MAIN STREET NORTH, MARKHAM VILLAGE (16.11)

File Number:
A/146/22

Evan Manning, addressed the Committee and provided information in relation to the request to remove the garage and keep the driveway in its current location and permit the construction of a coach house at this property. He advised that staff is in support of this proposal and will work with the applicant to reduce the amount of paving in the front yard.

Mr. Russ Gregory, expressed concerns with the Committee's comments in relation to the driveway orientation.

The Committee requested further clarification on the orientation of the driveway and inquired about the existing tree locations.

Moved by David Wilson
Seconded by Councillor

Keith Irish

Recommendations:

THAT Heritage Markham has no objection from a heritage perspective to the demolition of the existing detached garage at 339 Main Street North;

THAT Heritage Markham has no objection from a heritage perspective to the requested variances to permit the proposed *coach house*;

AND THAT review of the forthcoming Site Plan Control application, and any other development application required to approve the proposed development, be delegated to Heritage Section staff to ensure conformance to the MVHCD Plan.

Carried

APPENDIX “D”
CONCEPTUAL DRAWINGS

DEER PARK LANE (FORMERLY LANE BY REGISTERED PLAN 1149)

SURVEYOR'S REAL PROPERTY REPORT OF

PART 1:
PLAN PART OF LOT 15
CONCESSION 8
CITY OF MARKHAM
(REGIONAL MUNICIPALITY OF YORK)

3.75 0 3.75 7.5 metres
SCALE = 1 : 150

A. AZIZ SURVEYORS INC., O.L.S.

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

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THE REPRODUCTION, ALTERATION OR USE OF THIS REPORT IN WHOLE OR IN
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IS STRICTLY PROHIBITED.

PART 2:

REPORT

THIS REPORT WAS PREPARED FOR RUSS GREGORY, AND THE UNDERSIGNED
ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.

BOUNDARIES

PART OF LOT 15, CONCESSION 8.

TITLE SEARCH INDICATES

NO EASEMENTS OR RIGHT OF WAYS REGISTERED ON TITLE.

ZONING

NO INVESTIGATION WITH RESPECT TO MUNICIPAL ZONING BY LAW HAS BEEN MADE
FOR THE SUBJECT PROPERTY (PROPERTIES).

FENCES

PLEASE NOTE THE POSITION OF THE FENCES IN RELATION TO THE SOUTHERLY,
NORTHERLY, EASTERLY & WESTERLY BOUNDARIES; THEY ARE LOCATED OVER THE
SUBJECT BOUNDARIES TO THE EXTENT SHOWN ON THE PLAN.

BEARING NOTE

BEARING ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT
OF HERITAGE CORNERS LANE HAVING A BEARING OF N09°28'00"W
AS STATED ON INSTRUMENT NO. R606761.

GEODETIC:

ELEVATIONS SHOWN GEODETIC DRIVEN FROM CITY OF MARKHAM
BENCH MARK #768483, ELEVATION 202.965M

LEGEND:

■ DENOTES SURVEY MONUMENT FOUND
□ SURVEY MONUMENT SET
SB STANDARD IRON BAR
N.E.S.W. NORTH, EAST, SOUTH, WEST
DBF DOUBLE BOARD FENCE
CLF CHAIN LINK FENCE
P SURVEY BY R.G. MAKIBBON LTD.
O.L.S. DATED MAY 17, 1985
P1 SURVEY BY LAND SURVEY GROUP
O.L.S. DATED MAY 07, 2015
LSC LAND SURVEY GROUP, O.L.S.
Y&Y YATES & YATES, O.L.S.
D INST No. R606761

IB DENOTES IRON BAR
FH FIRE HYDRANT
OU ORIGIN UNKNOWN
MS MEASURED
DT DECIDUOUS TREE
DS DOOR SILL
CC CUT CROSS
WT WITNESS

MAIN STREET MARKHAM NORTH

(ROAD ALLOWANCE BETWEEN CONCESSION 7 AND 8)
PIN 02919-0545 (LT)

CENTER LINE OF PAVEMENT

SOUTHWEST CORNER OF
LOT 15, CONCESSION 8

PART 1, PLAN 65R-39849
PIN 02919-0757(LT)

347
1 STOREY
BRICK/STUCCO
DWELLING
DS=206.66

22.43(MS)
22.45(P1)(PROD'N)

PART 12, PLAN 66R-5145

339
2 STOREY
FRAME
DWELLING
DS=206.377

339
1 STOREY
BRICK
DWELLING
DS=206.45

15

CONDOMINIUM

PIN 02919-0022(LT)

YORK CONDOMINIUM PLAN 149

PART 12, PLAN 66R-5145

CONDO BLOCK 29013
YORK CONDOMINIUM
PLAN 149

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE
REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 12th DAY OF MAY, 2022

DATE: MAY 19, 2022

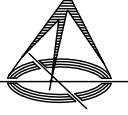
A. ABDELSHAHID
ONTARIO LAND SURVEYOR

A. AZIZ SURVEYORS INC

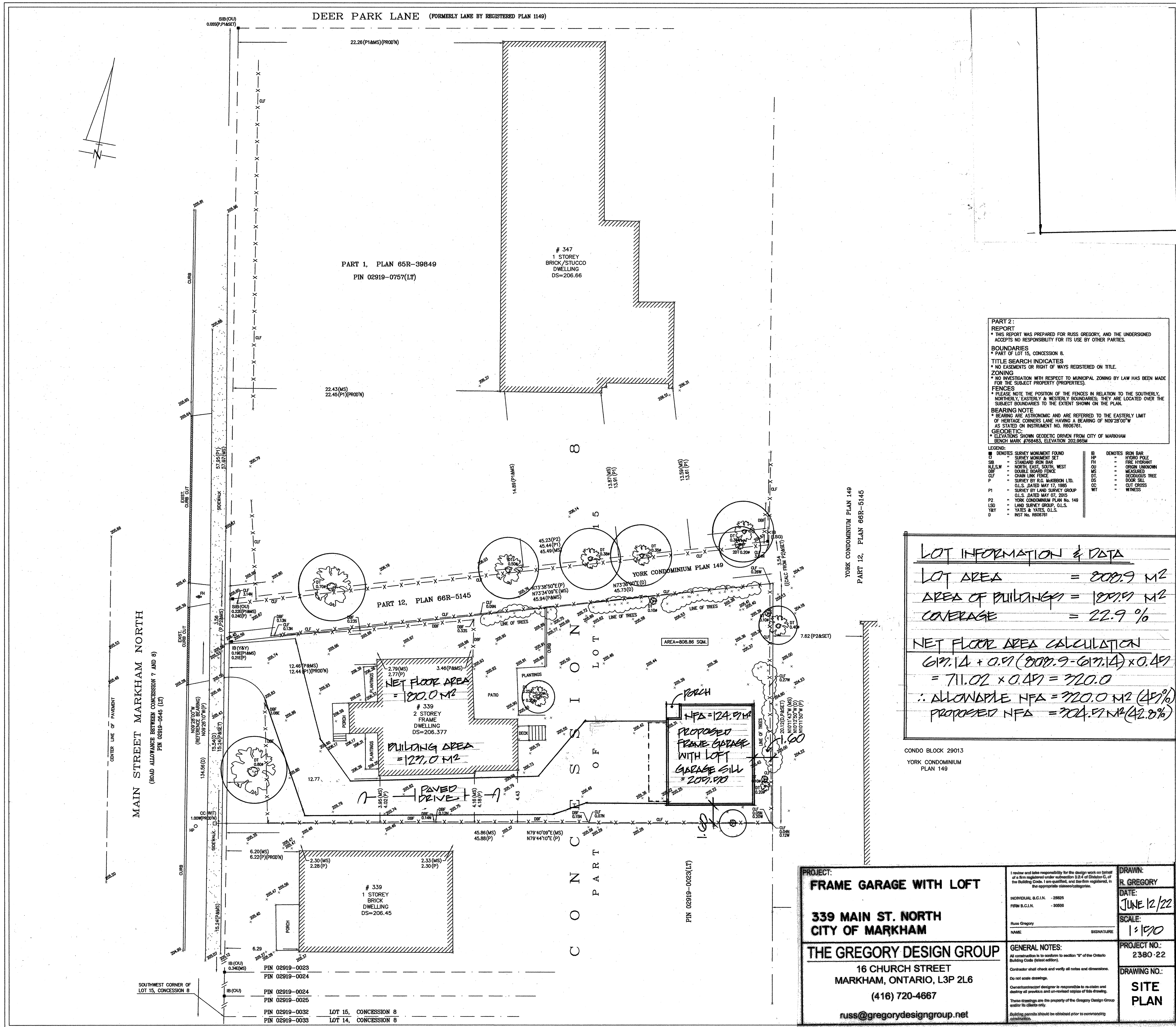
ONTARIO LAND SURVEYORS
120 NEWKIRK ROAD-#31, RICHMOND HILL, ONT. L4C-9S7
Tel. (905) 237-8224 Fax: (416) 477-5465
Website : M-Azizsurveyors.ca
E-Mail : aziz@m-azizsurveyors.ca

PROJECT NUMBER	PROJECT
22-172	339 MAIN STREET NORTH (SR-PR)
DRAWN BY	CHECKED BY
RBM	A.A

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2189569



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR.
In accordance with
Regulation 1026, Section 29(3).



PART 2:
REPORT
* THIS REPORT WAS PREPARED FOR RUSS GREGORY, AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.
BOUNDARIES
* PART OF LOT 15, CONCESSION 8.
TITLE SEARCH INDICATES
* NO EASEMENTS OR RIGHT OF WAYS REGISTERED ON TITLE.
ZONING
* NO INVESTIGATION WITH RESPECT TO MUNICIPAL ZONING BY LAW HAS BEEN MADE FOR THE SUBJECT PROPERTY (PROPERTIES).
FENCES
* PLEASE NOTE THE POSITION OF THE FENCES IN RELATION TO THE SOUTHERLY, NORTHERLY, EASTERLY & WESTERLY BOUNDARIES; THEY ARE LOCATED OVER THE SUBJECT BOUNDARIES TO THE EXTENT SHOWN ON THE PLAN.
BEARING NOTE
* BEARING ARE ASTROMONIC AND ARE REFERRED TO THE EASTERLY LIMIT OF HERITAGE CORNERS LINE HAVING A BEARING OF N03°25'00"W AS STATED ON INSTRUMENT NO. R60761.
GEODETIC
* ELEVATIONS SHOWN GEODETIC DRIVEN FROM CITY OF MARKHAM BENCH MARK #789483, ELEVATION 202.965M

LEGEND:
IB DENOTES SURVEY MONUMENT FOUND
CL DENOTES SURVEY MONUMENT SET
SB DENOTES STANDARD BORN BAR
N.E.S.W. DENOTES NORTH EAST, SOUTH, WEST
DBF DENOTES DOUBLE BOUND FENCE
CLF DENOTES CHAIN LINK FENCE
P DENOTES SURVEY BY D.G. WICKBORN LTD.
P1 DENOTES SURVEY BY LAND SURVEY GROUP
P2 DENOTES YORK CONDOMINIUM PLAN NO. 149
LSD DENOTES LAND SURVEY GROUP, O.L.S.
Y&Y DENOTES YATES & YATES, O.L.S.
D DENOTES INST. NO. R608761
IB DENOTES IRON BAR
HP DENOTES HYDRO POLE
FI DENOTES FIRE HYDRANT
OU DENOTES ORIGIN UNKNOWN
MS DENOTES MEASURED
DT DENOTES DECORIOUS TREE
DS DENOTES DOOR SILL
CC DENOTES CUT CROSS
WT DENOTES WITNESS

LOT INFORMATION & DATA

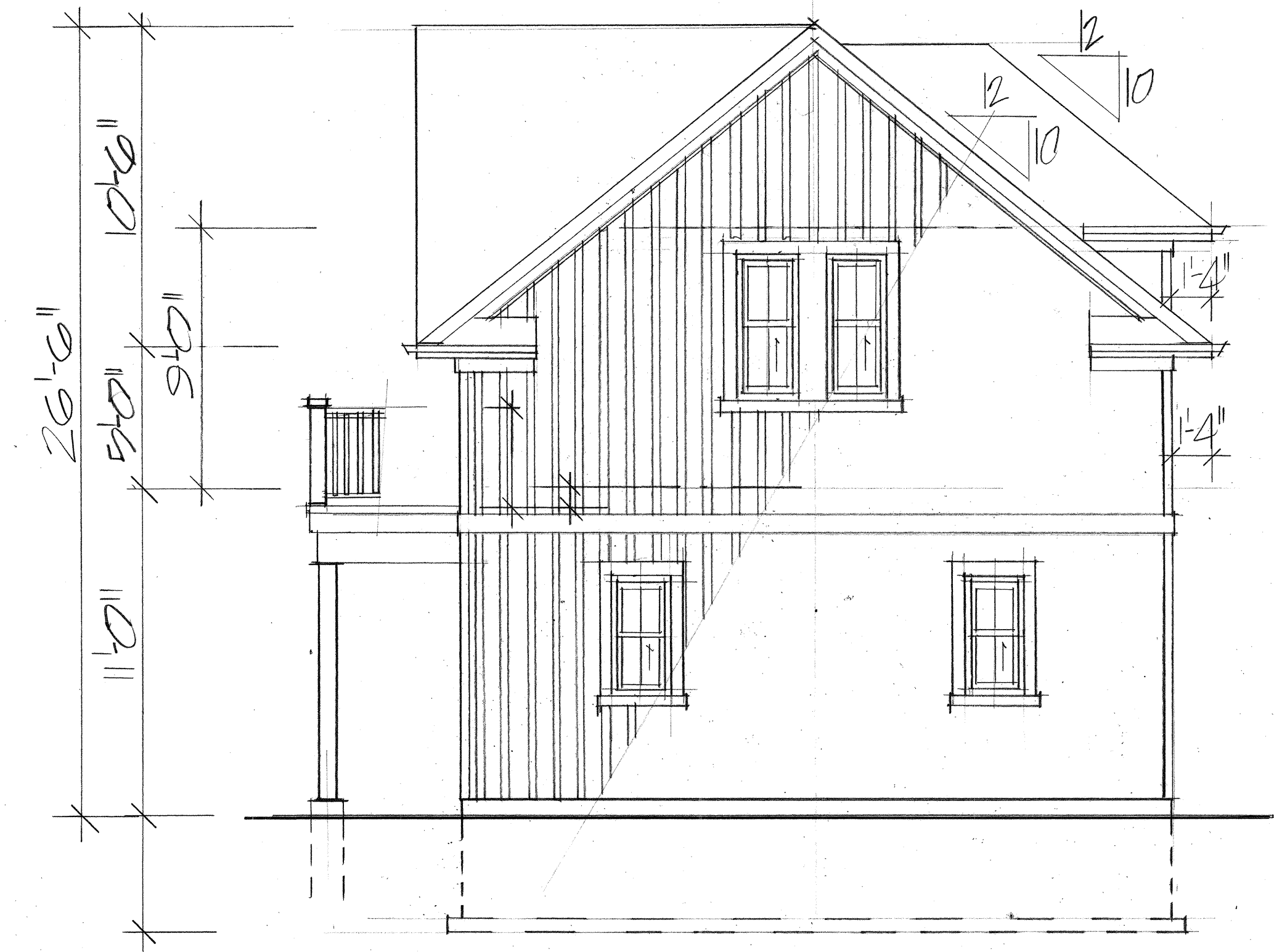
LOT AREA = 808.9 M²
AREA OF BUILDING = 127.0 M²
COVERAGE = 22.9 %

NET FLOOR AREA CALCULATION

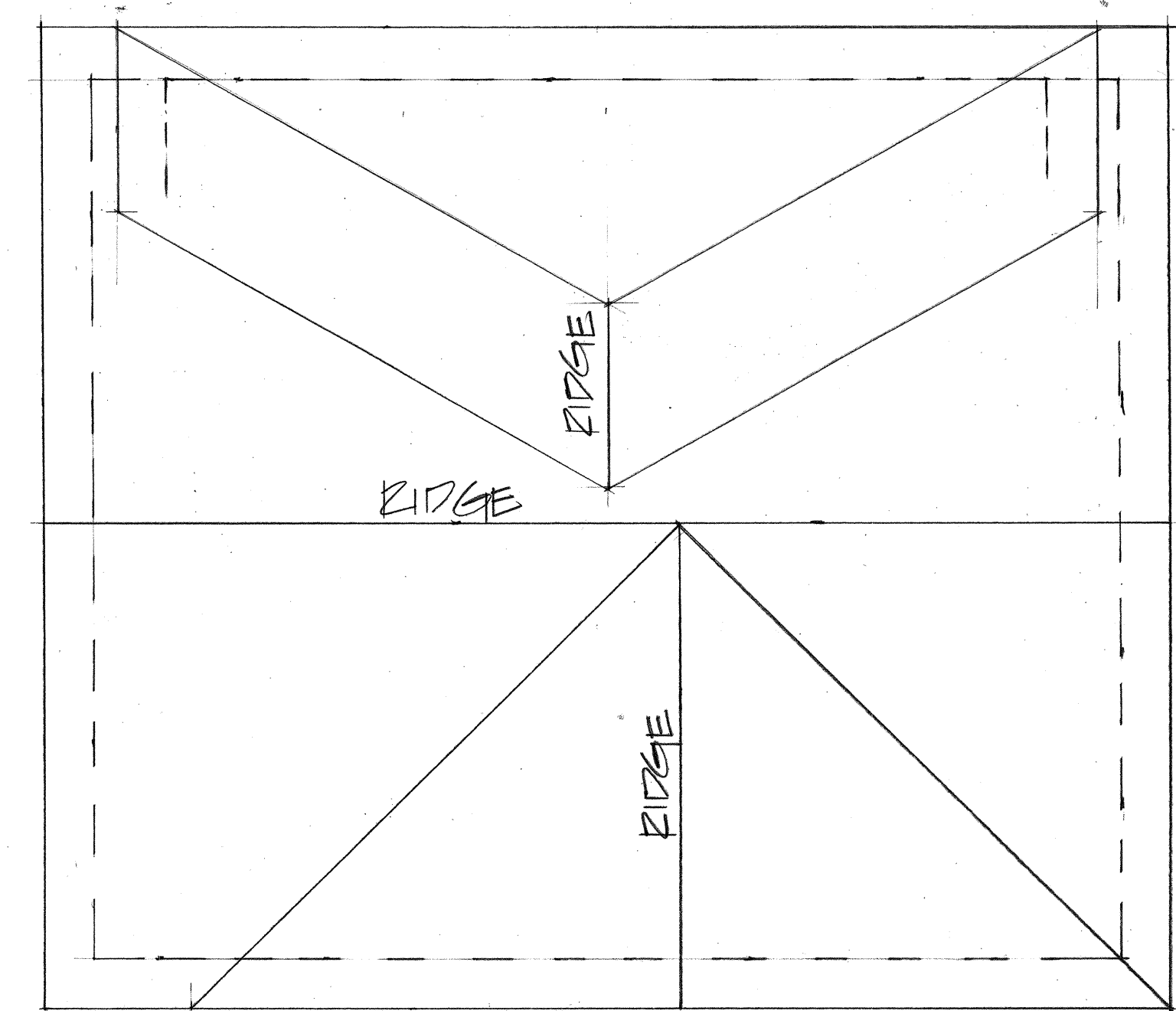
$617.14 + 0.7(808.9 - 617.14) \times 0.47$
 $= 711.02 \times 0.47 = 320.0$
∴ ALLOWABLE NFA = 320.0 M² (41%)
PROPOSED NFA = 124.91 M² (42.8%)

CONDO BLOCK 29013
YORK CONDOMINIUM
PLAN 149

PROJECT: FRAME GARAGE WITH LOFT	I review and take responsibility for the design work on behalf of a firm registered under subsection 12.4 of Division 2, of the Building Code, I am qualified, and the firm registered, to the appropriate class/category.	DRAWN: R. GREGORY
339 MAIN ST. NORTH CITY OF MARKHAM	INDIVIDUAL B.C.I.N. - 28825 FIRM B.C.I.N. - 30505	DATE: JUNE 12/22
THE GREGORY DESIGN GROUP	Russ Gregory NAME	SCALE: 1:150
16 CHURCH STREET MARKHAM, ONTARIO, L3P 2L6 (416) 720-4667 russ@gregorydesigngroup.net	GENERAL NOTES: All construction is to conform to section "B" of the Ontario Building Code (latest edition). Contractor shall check and verify all notes and dimensions. Do not scale drawings. Owner/contractor designer is responsible to re-claim and destroy all previous and un-revised copies of this drawing. These drawings are the property of the Gregory Design Group and are to be used only for the project shown. Building permits should be obtained prior to commencing construction.	PROJECT NO.: 2380-22 DRAWING NO.: SITE PLAN



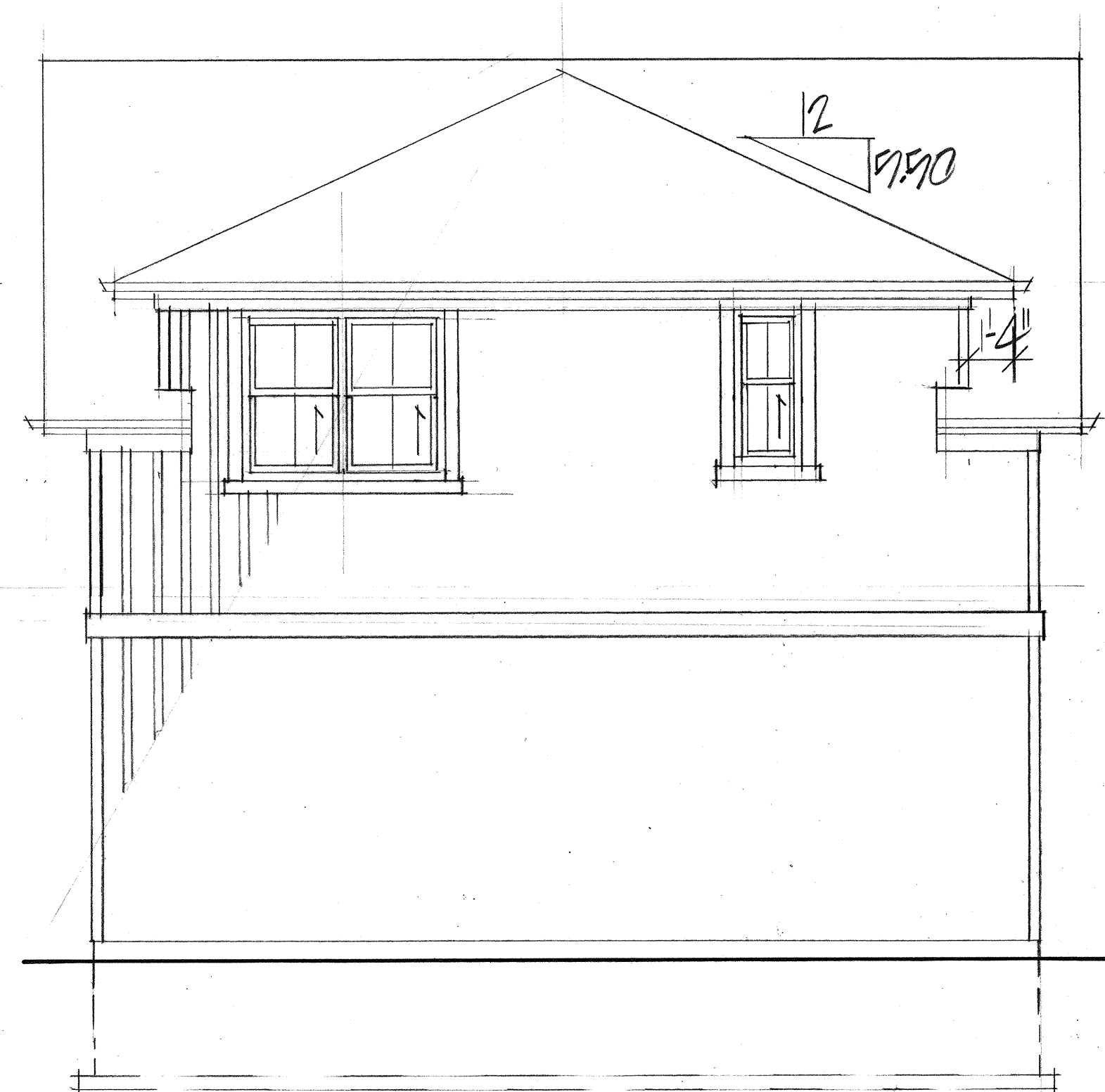
SOUTH SIDE



ROOF PLAN

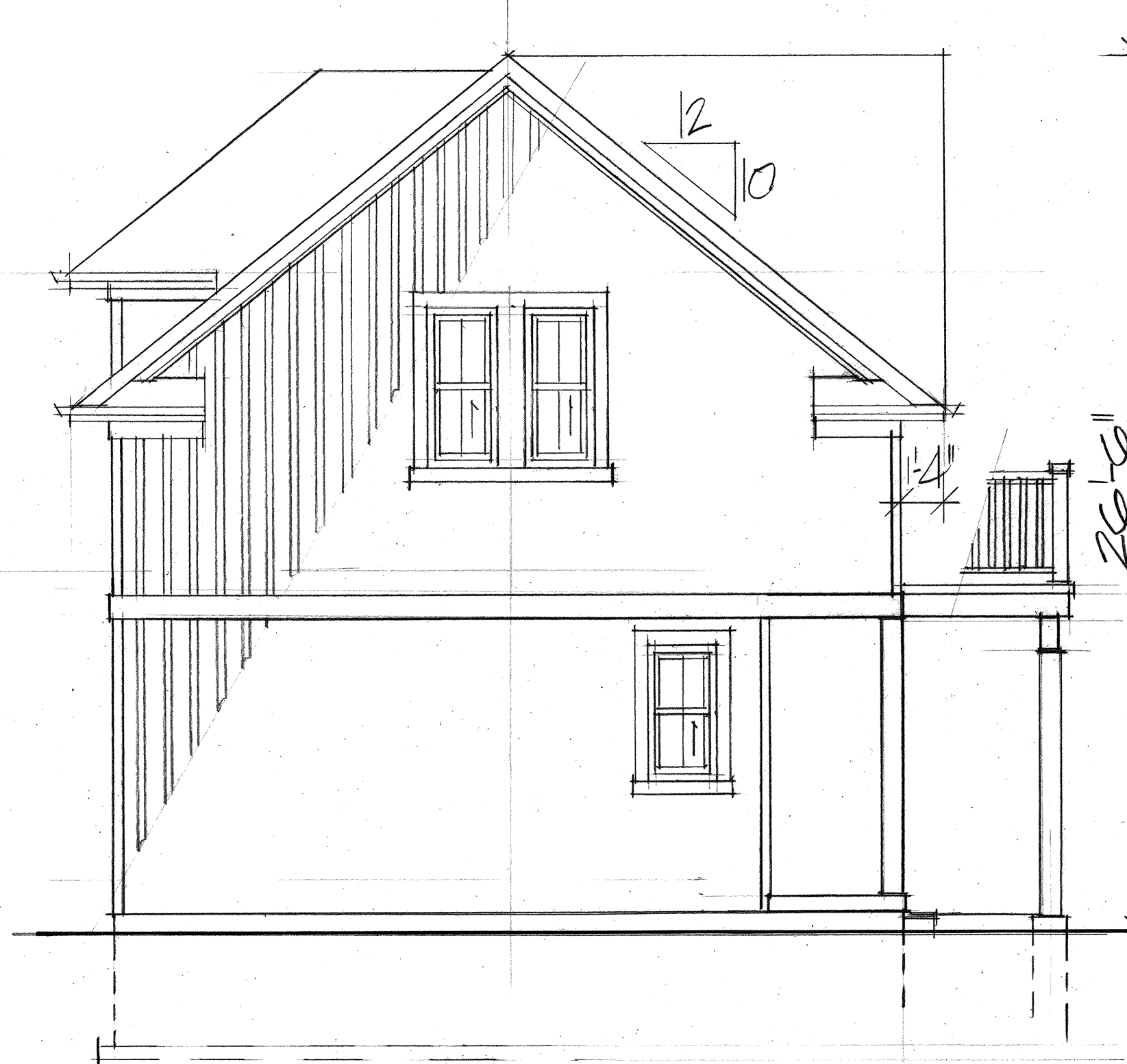
- Conventional Framing:**
- All rafters 2"x6" spruce @16" o/c (unless noted otherwise)
 - Refer to roof plan for direction of rafters
 - Collar ties 2"x4" spruce @16" o/c (where possible)
 - Ridge boards 2"x6" spruce
 - Valley boards 2"x6" spruce
 - Hip boards 2"x6" spruce
 - Support all hip and valley boards with posts and/or dwarf walls where necessary and/or possible
- Roof Truss:**
- Owner/Contractor must supply engineered truss drawings to Gregory Design and local building department for review
 - Refer to roof plan for direction of trusses
 - Any conventional framing must meet Ontario Building Code regulations
 - Roof trusses must not be manufactured prior to completion of foundation and verification of all dimensions
 - The Gregory Design Group assumes no responsibility for errors if dimensions for trusses are not verified

PROJECT: FRAME GARAGE WITH LOFT	<small>I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C, of the Building Code, I am qualified, and the firm registered, in the appropriate classes/categories.</small> <small>INDIVIDUAL B.C.I.N. - 25825</small> <small>FIRM B.C.I.N. - 30506</small> <small>Russ Gregory</small> <small>NAME SIGNATURE</small>	<small>Do not scale drawings.</small> <small>Owner/contractor designer is responsible to re-claim and destroy all previous and un-revised copies of this drawing. These drawings are the property of the Gregory Design Group and/or its clients only.</small> <small>Building permits should be obtained prior to commencing construction.</small>	DRAWN: R. GREGORY
			DATE:
			SCALE: 1/4"=1'-0"
			PROJECT NO.: 2380-22
THE GREGORY DESIGN GROUP 16 CHURCH STREET MARKHAM, ONTARIO, L3P 2L6 (416) 720-4667 russ@gregorydesigngroup.net	GENERAL NOTES: <small>All construction is to conform to section "B" of the Ontario Building Code (latest edition).</small> <small>Contractor shall check and verify all notes and dimensions.</small> <small>Do not scale drawings.</small> <small>Owner/contractor designer is responsible to re-claim and destroy all previous and un-revised copies of this drawing. These drawings are the property of the Gregory Design Group and/or its clients only.</small> <small>Building permits should be obtained prior to commencing construction.</small>	DRAWING NO.: A-2	



REAR ELEVATION

28'-0"



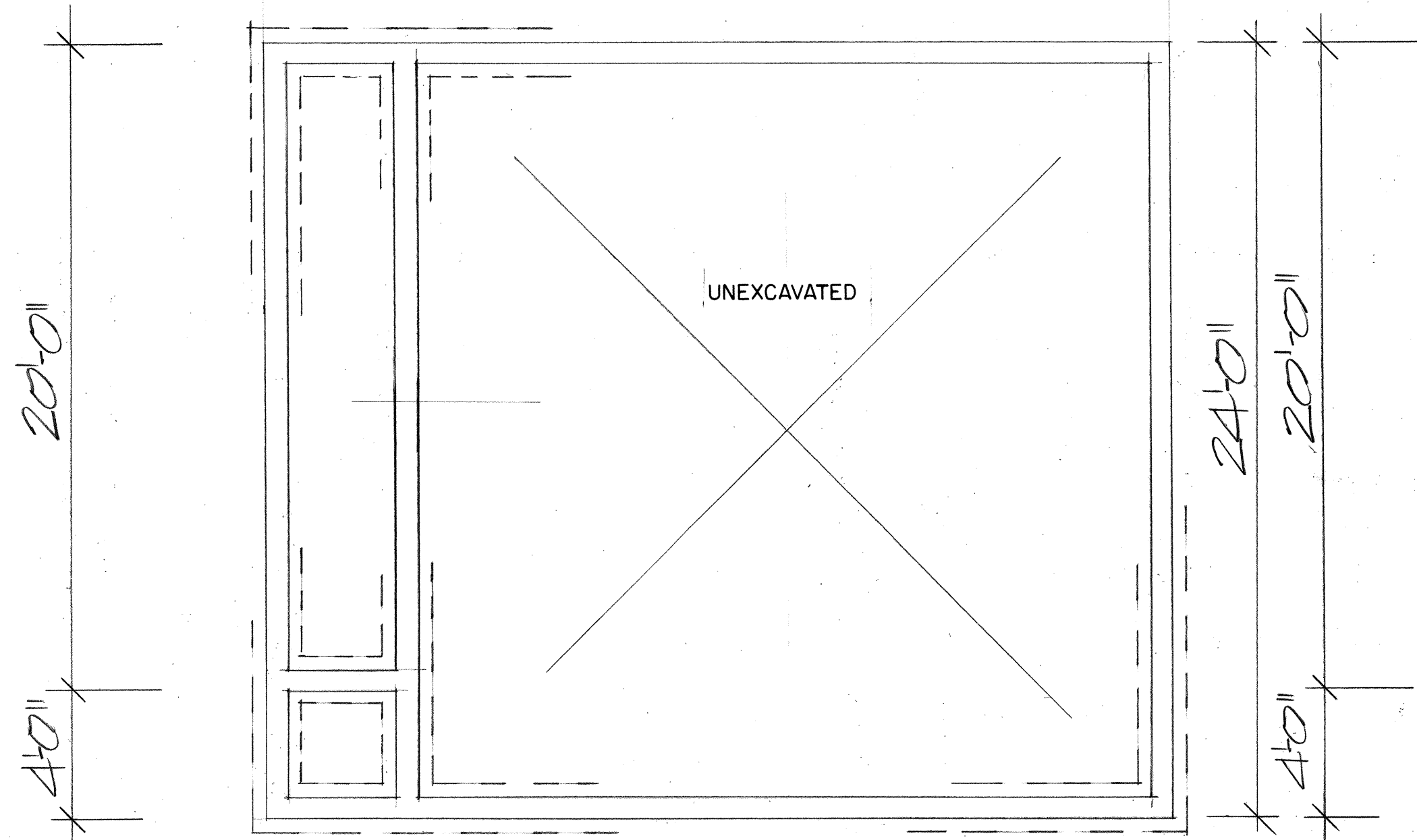
NORTH SIDE

28'-0"

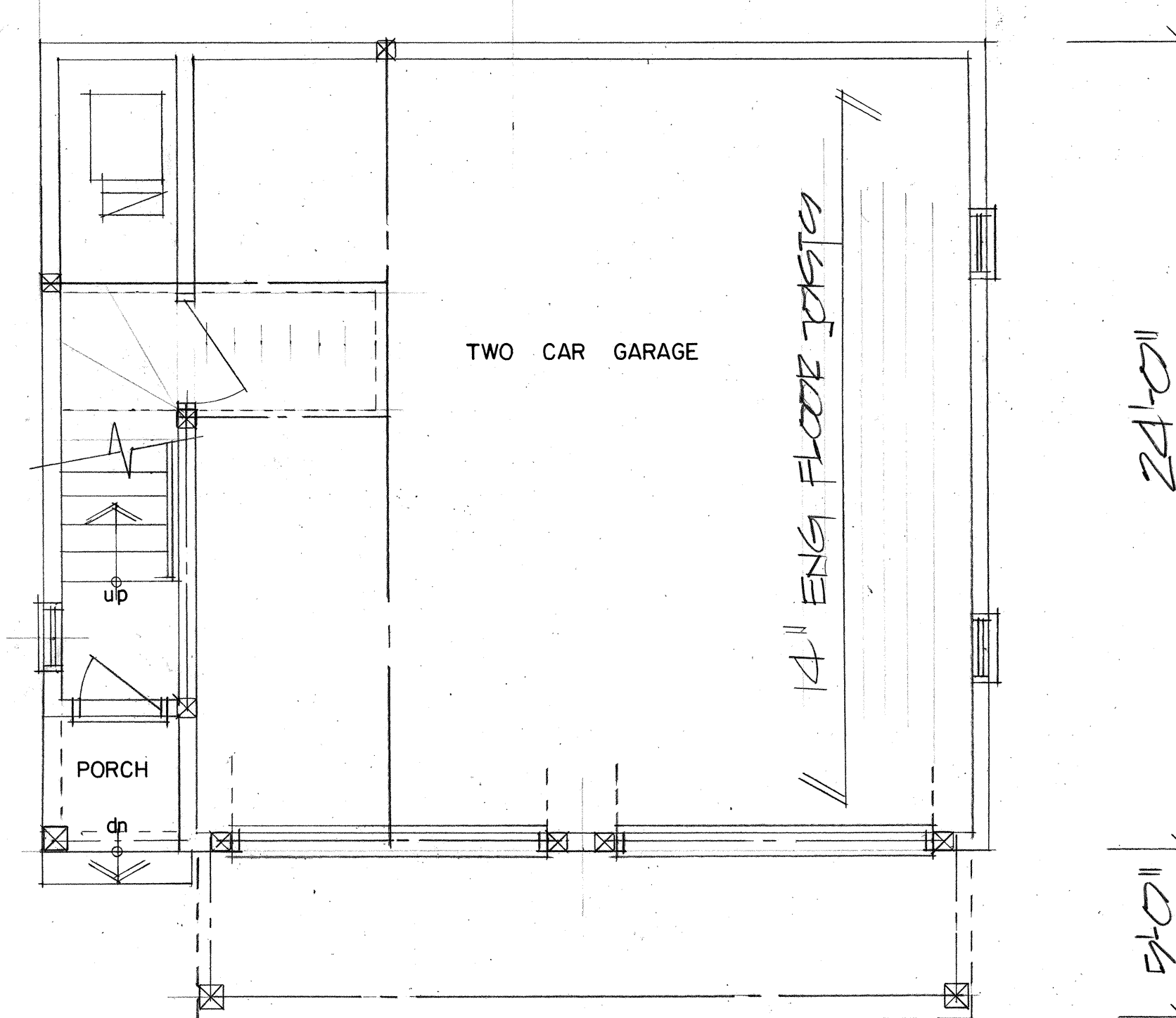


FRONT ELEVATION

28'-0"

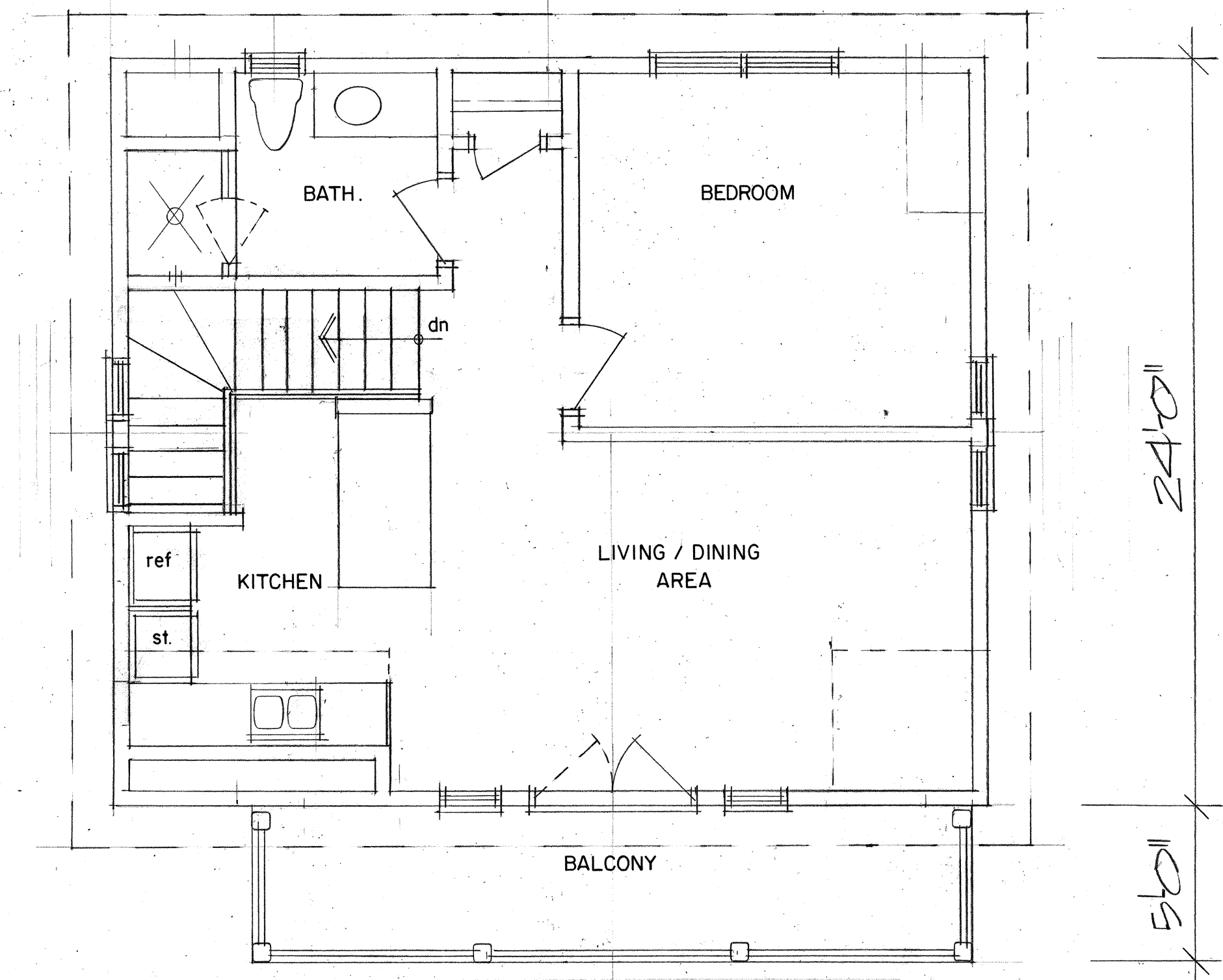


FOUNDATION PLAN



GROUND FLOOR PLAN

BUILDING AREA = 672 SQ FT



LOFT FLOOR PLAN

LOFT FLOOR AREA = 672 SQ FT

- Notes for Elevations:
- Pre-finished vertical wood siding over 1"x3" horizontal strapping where shown (colour to be determined)
 - All windows to be double glazed panes in wood or aluminum clad frames. (colour to be determined)
 - All exterior door systems to be in wood or aluminum clad frames. (colour to be determined)
 - All roofing to be "IKO" Cambridge style asphalt shingles. (colour to be determined)
 - 6" wood frieze board to surround entire house below soffits. (colour to be determined)
 - Heavy gauge aluminum fascia, soffits, gutters, and downspouts to match existing.
 - Contractor must supply samples of materials and colours to the Owners for approval prior to installation on site.

PROJECT: FRAME GARAGE WITH LOFT 339 MAIN ST. NORTH CITY OF MARKHAM THE GREGORY DESIGN GROUP 16 CHURCH STREET MARKHAM, ONTARIO, L3P 2L6 (416) 720-4667 russ@gregorydesigngroup.net	<small>I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C of the Building Code, I am qualified, and the firm registered, in the appropriate classes/categories.</small> <small>INDIVIDUAL B.C.I.N. - 29825</small> <small>FIRM B.C.I.N. - 30506</small> <small>Russ Gregory</small> <small>NAME</small> <small>SIGNATURE</small>	DRAWN: R. GREGORY DATE: 6/12/22 SCALE: 1/4"=1'-0" PROJECT NO.: 2380-22 DRAWING NO.: A-1