## Memorandum to the City of Markham Committee of Adjustment

October 14, 2022

File: A/139/22

Address: 170 Krieghoff Avenue, Markham Applicant: Z Square Group (Mengdi Zhen) Agent: Z Square Group (Mengdi Zhen) Hearing Date: Wednesday, October 19, 2022

The following comments are provided on behalf of the Central Team.

The Applicant is requesting relief from the "Fourth Density Single Family Residential (R4)" zone requirements under By-law 11-72, as amended, as it relates to a proposed two-storey detached dwelling. The variances requested are to permit:

#### a) **Section 6.1**:

a front yard setback of 23 feet (7.01 metres), whereas the By-law requires a minimum front yard setback of 27 feet (8.23 metres);

#### b) **Section 6.1**:

a maximum lot coverage of 38.9 percent, whereas the By-law permits a maximum lot coverage of 33 and one-third percent; and

#### c) **Section 6.1**:

a maximum building height of 28 feet 6 inches (8.69 metres), whereas the By-law permits a maximum building height of 25 feet (7.62 metres).

#### **BACKGROUND**

#### **Property Description**

The 696.77 m² (7,500 ft²) subject lands are located on the north side of Krieghoff Avenue, generally located west of Main Street Unionville and northeast of Fred Varley Drive (refer to Appendix "A" – Aerial Photo). The subject lands are located within an established residential neighbourhood comprised primarily of a mix of one and two-storey detached dwellings.

There is an existing two-storey detached dwelling on the subject lands, which according to assessment records was constructed in 1966. The subject lands contain mature vegetation and large mature trees in the front and rear yards.

#### **Proposal**

The Applicant is proposing to construct a new 484.71 m<sup>2</sup> (5217.40 ft<sup>2</sup>) two-storey detached dwelling (refer to Appendix "B" – Plans).

#### Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18) The Official Plan designates the subject lands "Residential Low Rise", which permits low rise housing forms including single detached dwellings. Section 8.2.3.5 of the Official Plan outlines infill development criteria for the "Residential Low Rise" designation with respect to height, massing, and setbacks. This criteria is established to ensure that infill development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street, while accommodating a diversity of building styles. In considering applications for development approval in a "Residential Low Rise" area, which includes variances, development is required to meet the general intent of the above noted development criteria. Regard shall also be had for the retention and enhancement of existing trees and vegetation. Planning staff have had regard for the requirements of the infill development criteria in the preparation of the comments provided below.

#### Zoning By-Law 11-72

The subject lands are zoned "Fourth Density Single Family Residential (R4)" under Bylaw 11-72, as amended, which permits a single detached dwelling. The Applicant's plan indicate that the proposed dwelling is a single detached dwelling and will <u>not</u> contain an additional dwelling unit (secondary suite).

The proposed dwelling does not comply with the by-law requirements as it relates to minimum front yard setback, maximum lot coverage and maximum building height.

#### Varley Village Infill Area

The subject lands are within an area of the City where larger dwellings are replacing the existing build stock. In response to concerns within this redevelopment trend, a number of residents asked that Markham consider an infill housing by-law for the Varley Village neighbourhood. The Unionville Sub-Committee (a Committee of Council), undertook a review of this issue with community consultation, and ultimately recommend that no action be taken to implement an infill by-law at that time. This position was endorsed by Development Services Committee on June 19, 2012. As such, the existing by-law standards continue to apply.

Notwithstanding that an infill by-law was not enacted, the Committee should be aware of Council's and the community's concerns with regard to variances and maintaining the current standards of the Zoning By-law. Consequently, the Committee should consider public input before making a decision.

#### Zoning Preliminary Review (ZPR) Undertaken

The Applicant completed a Zoning Preliminary Review (ZPR) to confirm the initial variances required for the originally submitted proposed development. However, the ZPR report indicated that "the exact building height cannot be verified without an approved lot grading plan. The onus is on the applicant to ensure the proposed height is measured from established grade (as defined)." Consequently, it is the Owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

#### **COMMENTS**

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained; and
- d) The general intent and purpose of the Official Plan must be maintained.

#### **Reduction in Minimum Front Yard Setback**

The Applicant is requesting relief to permit a minimum front yard setback of 23 feet (7.01 metres), whereas the By-law requires a minimum side yard setback of 27 feet (8.23 metres) required for a 2-storey building. The variance is attributable to the covered porch proposed at the front of the dwelling. The majority of the main front wall of the building meets the By-law requirement for minimum front yard setback, however the covered porch encroaches 4 feet (1.22 metres) into the permitted front yard setback.

Staff are of the opinion that the proposed minimum front yard setback to accommodate the covered porch is minor and have no concern with the requested variance.

#### Increase in Maximum Lot Coverage

The Applicant is requesting relief to permit a maximum lot coverage of 38.9 percent, whereas the By-law permits a maximum lot coverage of 33 and one-third percent. Staff are of the opinion that the proposed increase in lot coverage will not significantly add to the scale and massing of the dwelling and that the resultant dwelling is generally consistent with what the By-law permits. Therefore, Staff have no objections to the approval of the requested variance.

#### **Increase in Maximum Building Height**

The Applicant is requesting relief to permit a maximum building height of 28 feet 6 inches (8.69 metres), whereas the By-law permits a maximum building height of 25 feet (7.62 metres). This represents an increase of 2 feet 6 inches (0.762 meters). Staff are of the opinion that the proposed maximum building height is minor and have no concern with the requested variance.

#### **Tree Protection and Compensation**

Staff recommend that the tree related conditions, as outlined in Appendix "C", be adopted by the Committee to ensure the Applicant installs the appropriate tree protection barriers and provides compensation to the City, if necessary. Staff note the Applicant is required to apply for and obtain a tree permit from the City for any proposed injury to, or removal of any trees that have a diameter at breast height (DBH) of 50.0 cm (19.68 in) or more on the subject property or neighbouring properties. Further mitigation through these processes may also be required to ensure the protection of certain trees is achieved.

#### **PUBLIC INPUT SUMMARY**

No written submissions were received as of October 14, 2022. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

#### CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance requests meet the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the Applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

Please refer to Appendix "C" for conditions to be attached to any approval of this application.

PREPARED BY:

Deanna Schlosser, MCIP RPP, Senior Planner, Central District

**REVIEWED BY:** 

Sabrina Bordone, MCIP RPP, Development Manager, Central District

#### **APPENDICES**

Appendix "A" – Aerial Context Photo

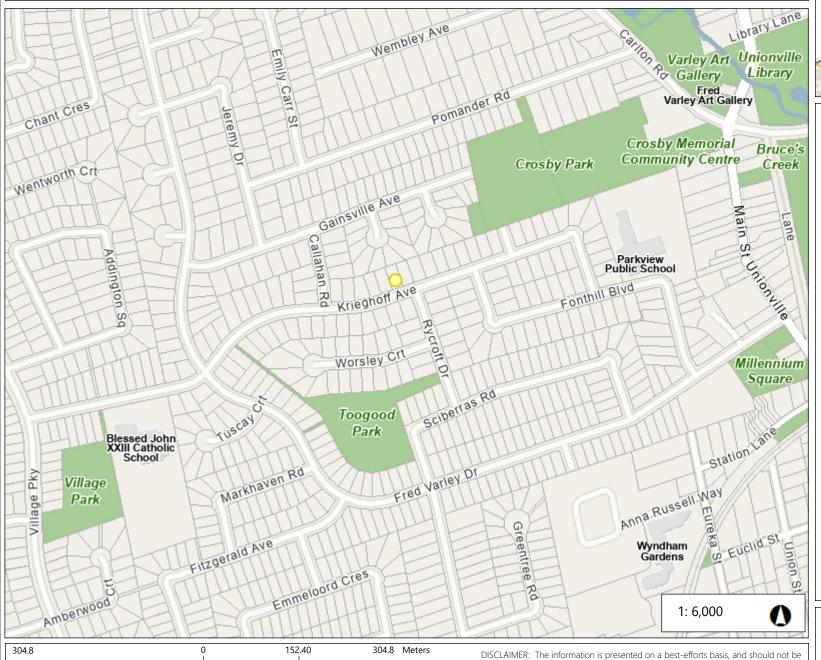
Appendix "B" - Plans

Appendix "C" - A/139/22 Conditions of Approval



NAD\_1983\_UTM\_Zone\_17N © City of Markham

## Appendix "B" – Plans





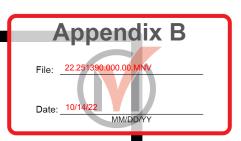
Subject Lands

170 Krieghoff Avenue

Notes

relied upon for making financial, survey, legal or other commitments. If you have questions or comments regarding the data displayed on this map, please email

cgis@markham.ca and you will be directed to the appropriate department.





170 KRIEGHOFF AVE
MARKHAM, ON. L3R 1W3

GROSS FLOOR AREA			<b>\</b>
		AREA	AREA (SF)
	SECOND FLOOR	258.29 m²	2780.24 SF
	GROUND FLOOR	226.42 m²	2437.16 SF
	GFA	484.71 m <sup>2</sup>	5217.40 SF

## NOTES:

ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.

 ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.

3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.

4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.

MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.

 TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.

## REVISION RECORD

7. DO NOT SCALE DRAWINGS.

No.	Description	Date
1	REVISED AS PER CHANGEMARKS	JUNE 22, 2022
	JE RECORD	

***

Z Square Consulting Inc.
1100 Gordon Baker Road,
Toronto, Ontario, M2H 3B3

T 647 291 0088
E info@zsquareconsulting.com
W www.zsquareconsulting.com

170 KRIEGHOFF AVE

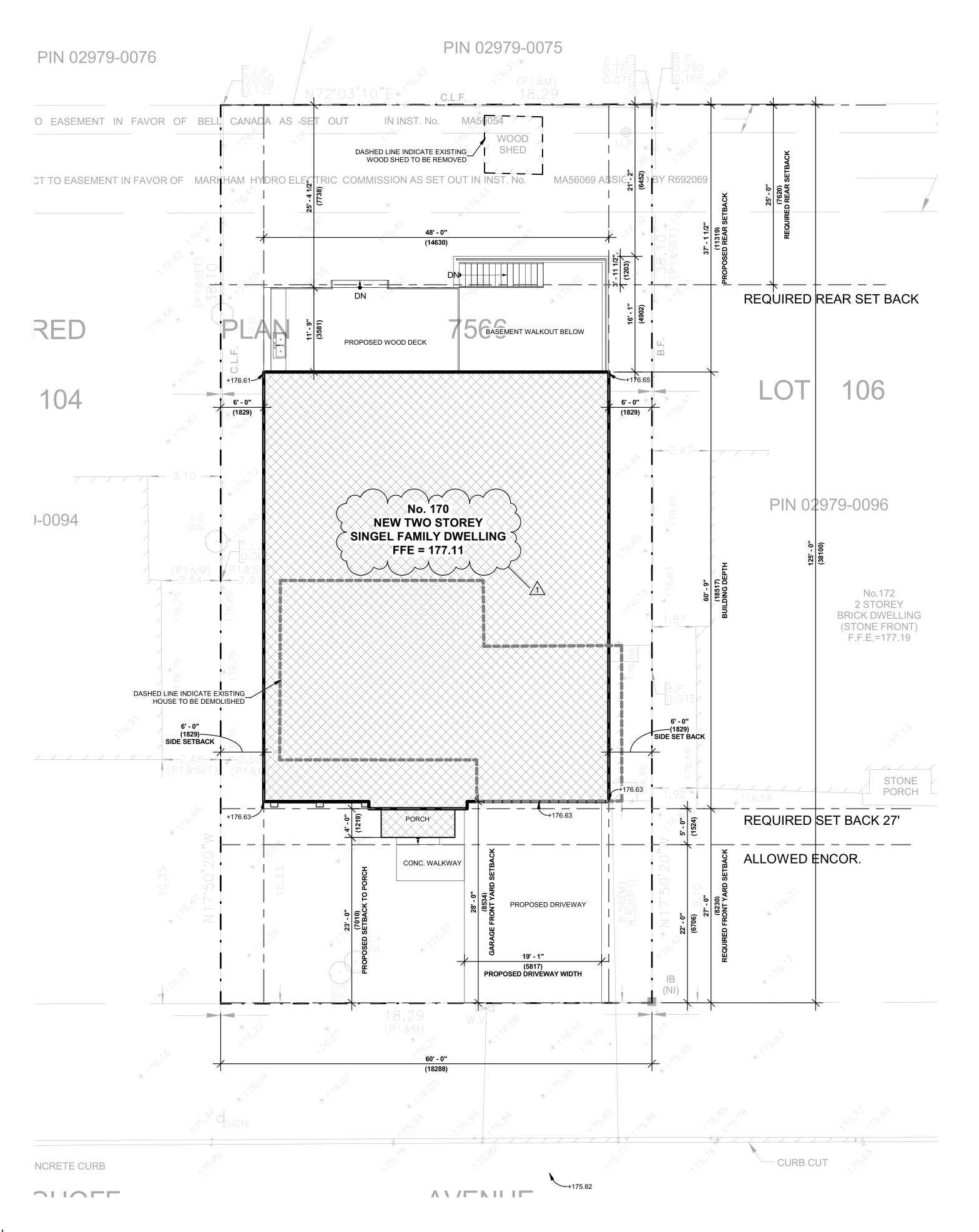
22018
PROJECT SCALE

RL MDZ drawn reviewed

COVER PAGE

A1.0





SITE STATISTIC ZONING	S	By-Law No. 11-72 Zone Label R4
LOT AREA	REQUIRED PROPOSED	580.64m <sup>2</sup> (6,250.00 sf) 696.77 m <sup>2</sup> (7,500 sf)
LOT WIDTH & FRONTAGE	PERMITTED PROPOSED	N/A 18.28m (60'-0")
LOT COVERAGE	PERMITTED PROPOSED	33 1/3% (230.02m², 2,497.5sf) 38.9% (271.52m² 2,922.66 sf)
GFA	MIN. FOR 2 STOREY PROPOSED	139.35m² (1500.00 sf) 484.71m² (5,217.40 sf) (FSI:0.70)
MAX. BUILDING HEIGHT	PERMITI ED PROPOSED	8.69m (28'-6")
SETBACKS: FRONT	PERMITTED PROPOSED	27' MIN. 27'
SETBACKS: EAST SIDE	PERMITTED PROPOSED	6' or 4' MIN. 6'
SETBACKS: WEST SIDE	PERMITTED PROPOSED	6' or 4' MIN. 6'
SETBACKS: REAR YARD	PERMITTED PROPOSED	25' 37'-1 1/2"
GARAGE FRONT YARD	PERMITTED PROPOSED	20' 28'

LC	OT COVERAGE	
	AREA	AREA (SF)
GROUND FLOOR	226.42 m²	2437.16 SF
GARAGE	41.30 m²	444.50 SF
PORCH	3.81 m <sup>2</sup>	41.00 SF
	ļ	\ \
TOTAL COVERAGE	271.52 m²	2922.66 SF
$\sim$	$\sim$	
	$\sim$	
Y Y	<u> </u>	
GROSS	S FLOOR AREA	
	AREA	AREA (SF)
SECOND FLOOR	258.29 m²	2780.24 SF
GROUND FLOOR		2437.16 SF
	226.42 m <sup>2</sup>	
GFA	484.71 m <sup>2</sup>	5217.40 SF
λ λ	$\sim$	
DEVELOPMENT STAN	DARÓS	, <u> </u>
Minimum Lot Frontage	DARÓS	50 feet
Minimum Lot Frontage Minimum Lot Area		6,250 square feet.
Minimum Lot Frontage Minimum Lot Area Minimum Front Yard Setbac	k	6,250 square feet. 27 feet
Minimum Lot Frontage Minimum Lot Area Minimum Front Yard Setbac Minimum Front Yard Setbac	k k (garage only)	6,250 square feet. 27 feet 20 feet
Minimum Lot Frontage Minimum Lot Area Minimum Front Yard Setbac Minimum Front Yard Setbac Minimum Side Yard Setback	k k (garage only)	6,250 square feet. 27 feet
Minimum Lot Frontage Minimum Lot Area Minimum Front Yard Setbac Minimum Front Yard Setbac	k k (garage only) ( 2 storey )	6,250 square feet. 27 feet 20 feet 6 feet
Minimum Lot Frontage Minimum Lot Area Minimum Front Yard Setback Minimum Front Yard Setback Minimum Side Yard Setback Minimum Side Yard Setback Minimum Rear Yard Setback Minimum Rear Yard Setback Minimum Flankage Yard (gre	k k (garage only) ( 2 storey ) ( less than 2 storey ) ( eater of)	6,250 square feet. 27 feet 20 feet 6 feet 4 feet 25 feet 12 feet or ½ the height of the building
Minimum Lot Frontage Minimum Lot Area Minimum Front Yard Setback Minimum Front Yard Setback Minimum Side Yard Setback Minimum Side Yard Setback Minimum Rear Yard Setback Minimum Rear Yard Setback Minimum Flankage Yard (gre Maximum Building Height (A	k k (garage only) ( ( 2 storey ) ( ( less than 2 storey ) ( eater of) vg. grade to midpoint)	6,250 square feet. 27 feet 20 feet 6 feet 4 feet 25 feet 12 feet or ½ the height of the building
Minimum Lot Frontage Minimum Lot Area Minimum Front Yard Setback Minimum Front Yard Setback Minimum Side Yard Setback Minimum Side Yard Setback Minimum Rear Yard Setback Minimum Rear Yard Setback Minimum Flankage Yard (gre Maximum Building Height (A Maximum Lot Coverage ( all	k k (garage only) ( ( 2 storey ) ( ( less than 2 storey ) c eater of) vg. grade to midpoint) buildings on lot )	6,250 square feet. 27 feet 20 feet 6 feet 4 feet 25 feet 12 feet or ½ the height of the building 25 feet 33 1/3%
Minimum Lot Frontage Minimum Lot Area Minimum Front Yard Setback Minimum Front Yard Setback Minimum Side Yard Setback Minimum Side Yard Setback Minimum Rear Yard Setback Minimum Rear Yard Setback Minimum Flankage Yard (gra Maximum Building Height (A	k k (garage only) ( ( 2 storey ) ( ( less than 2 storey ) c eater of) vg. grade to midpoint) buildings on lot )	6,250 square feet. 27 feet 20 feet 6 feet 4 feet 25 feet 12 feet or ½ the height of the building 25 feet 33 1/3% 1 Storey – 1100
Minimum Lot Frontage Minimum Lot Area Minimum Front Yard Setback Minimum Front Yard Setback Minimum Side Yard Setback Minimum Side Yard Setback Minimum Rear Yard Setback Minimum Rear Yard Setback Minimum Flankage Yard (gre Maximum Building Height (A Maximum Lot Coverage ( all	k k (garage only) ( ( 2 storey ) ( ( less than 2 storey ) c eater of) vg. grade to midpoint) buildings on lot )	6,250 square feet. 27 feet 20 feet 6 feet 4 feet 25 feet 12 feet or ½ the height of the building 25 feet 33 1/3%

ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.

 ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.

REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.

 GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRE

4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.

5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.

TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.

7. DO NOT SCALE DRAWINGS.

## REVISION RECORD

No.	Description	Date
1	REVISED AS PER CHANGEMARKS	JUNE 22, 2022
-		
<u> </u>		
1 S S U	ERECORD	

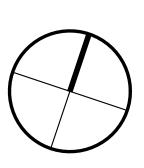
Z Square Consulting Inc. 1100 Gordon Baker Road, Toronto, Ontario, M2H 3B3

Toronto, Ontario, M2H 3B3

T 647 291 0088

E info@zsquareconsulting.com

W www.zsquareconsulting.com



170 KRIEGHOFF AVE for

22018 As indicated DRAWN

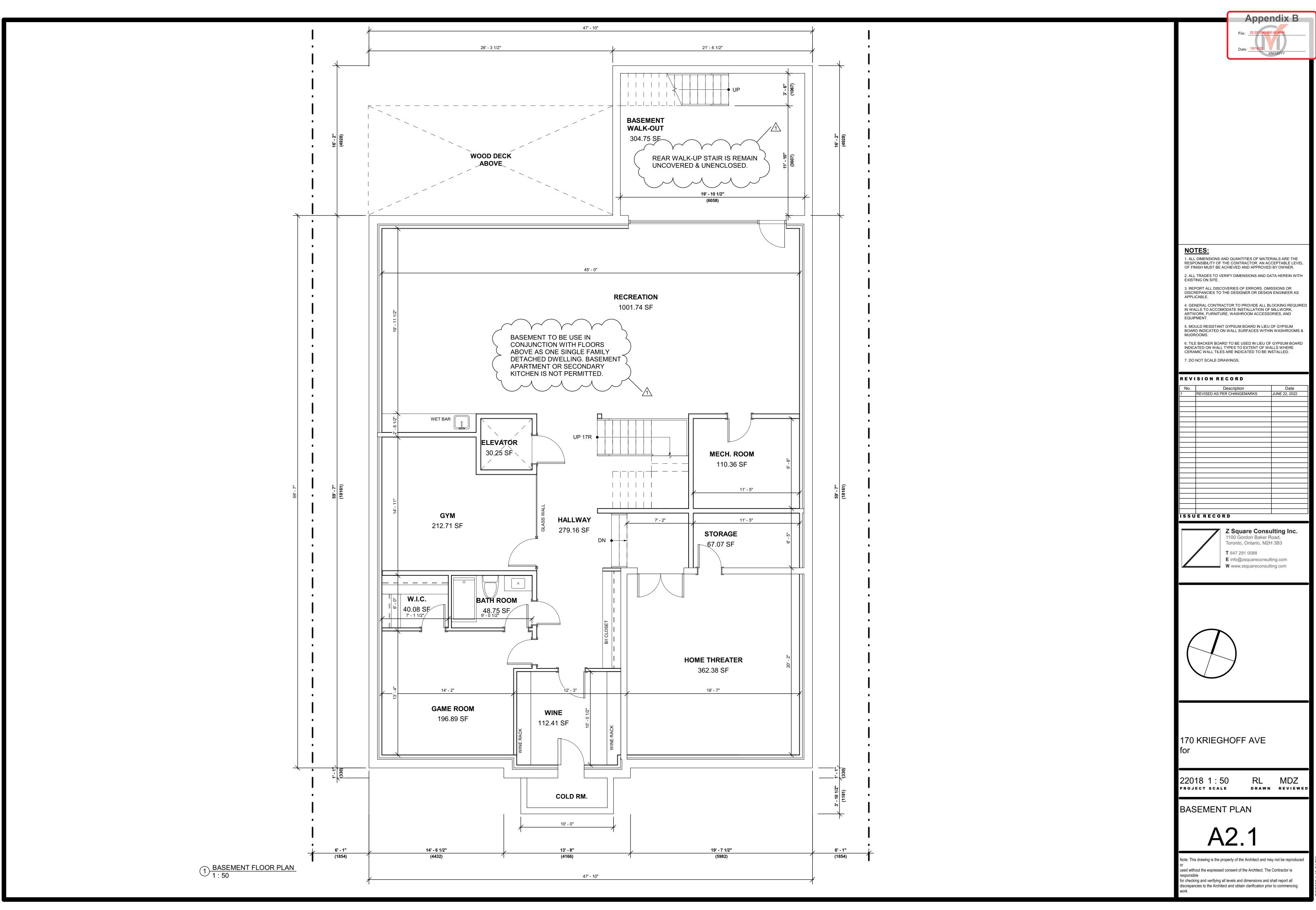
PROJECT SCALE DRAWN REVIEWED

SITE PLAN

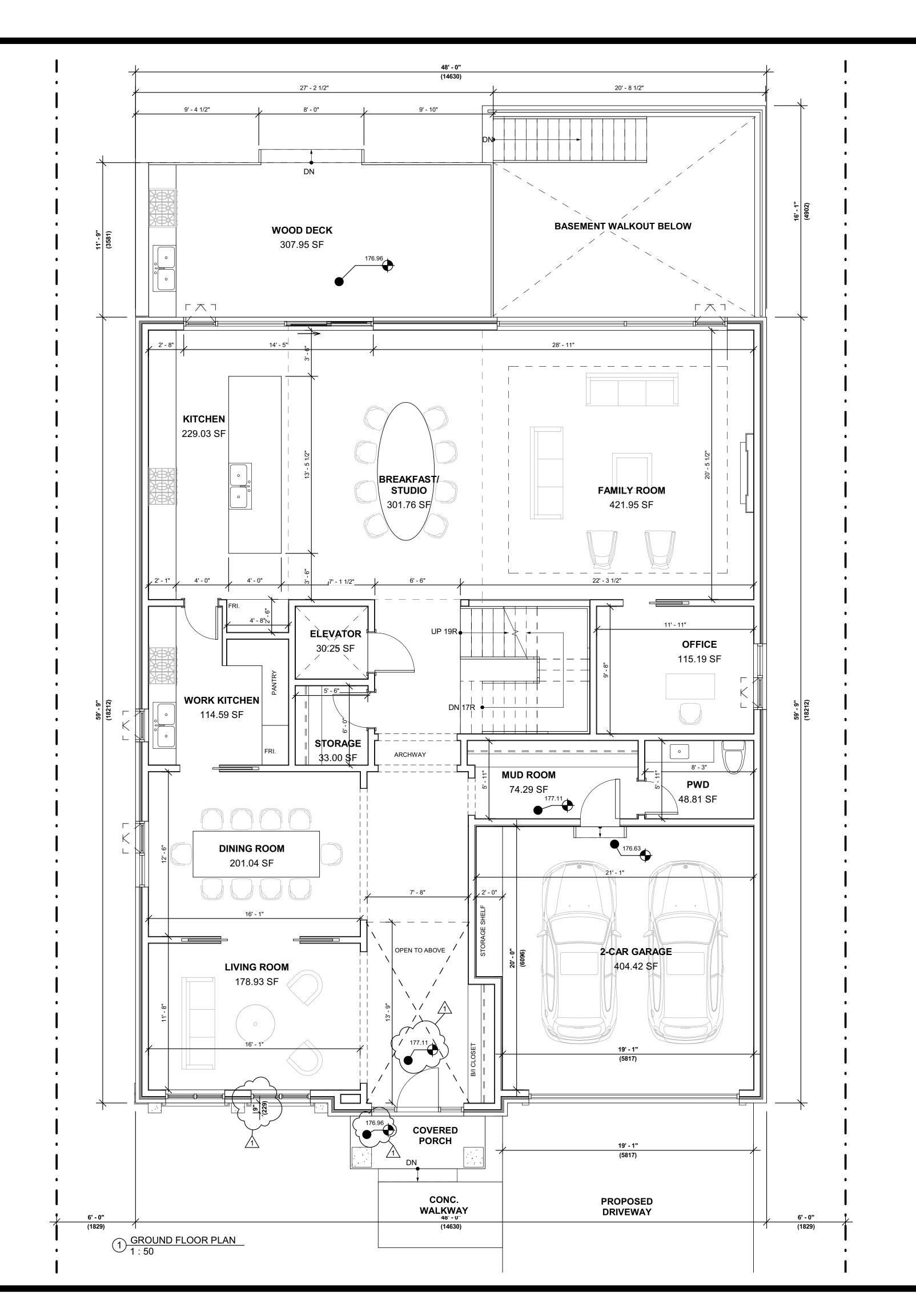
A1.

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all

screpancies to the Architect and obtain clarification prior to commencing







1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER. 2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.

3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.

4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.

5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.

6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED. 7. DO NOT SCALE DRAWINGS.

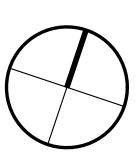
## REVISION RECORD

No.	Description	Date
1	REVISED AS PER CHANGEMARKS	JUNE 22, 2022

# ISSUE RECORD

$\overline{}$	Z Square Consulting Inc. 1100 Gordon Baker Road, Toronto, Ontario, M2H 3B3
	<b>T</b> 647 291 0088
	E info@zsquareconsulting.com

quareconsulting.com W www.zsquareconsulting.com



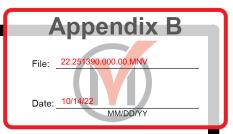
170 KRIEGHOFF AVE

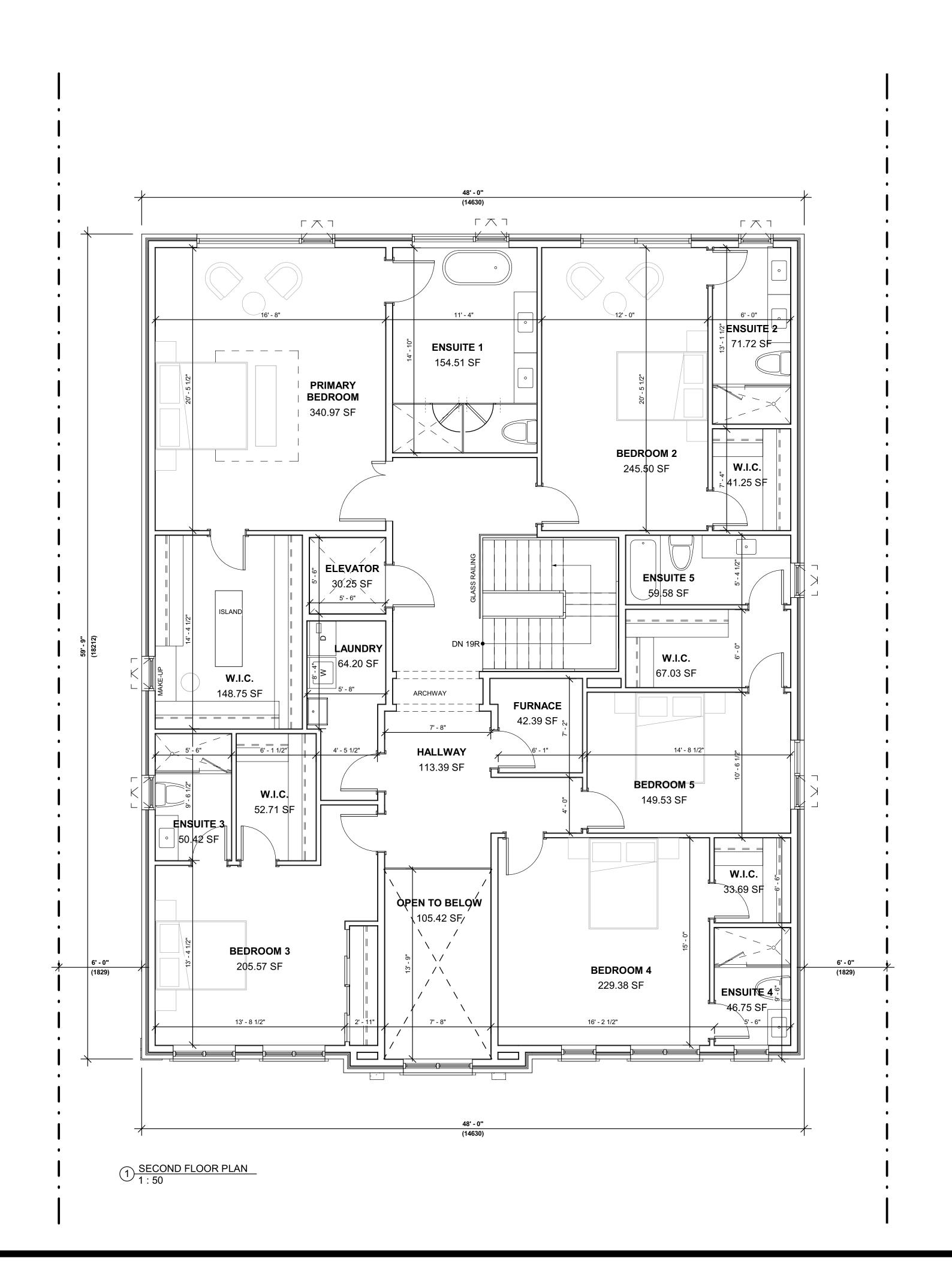
22018 1:50 PROJECT SCALE

RL MDZ drawn reviewed

GROUND FLOOR PLAN

A2.2





1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.

2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.

3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.

4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.

EQUIPMENT.

5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.

6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.

7. DO NOT SCALE DRAWINGS.

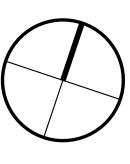
## REVISION RECORD

No.	Description	Date
1	REVISED AS PER CHANGEMARKS	JUNE 22, 2022

# ISSUE RECORD

Z Square Consulting Inc. 1100 Gordon Baker Road, Toronto, Ontario, M2H 3B3
<b>T</b> 647 291 0088
E info@zsquareconsulting.com

W www.zsquareconsulting.com



170 KRIEGHOFF AVE for

22018 1:50 PROJECT SCALE

RL MDZ drawn reviewed

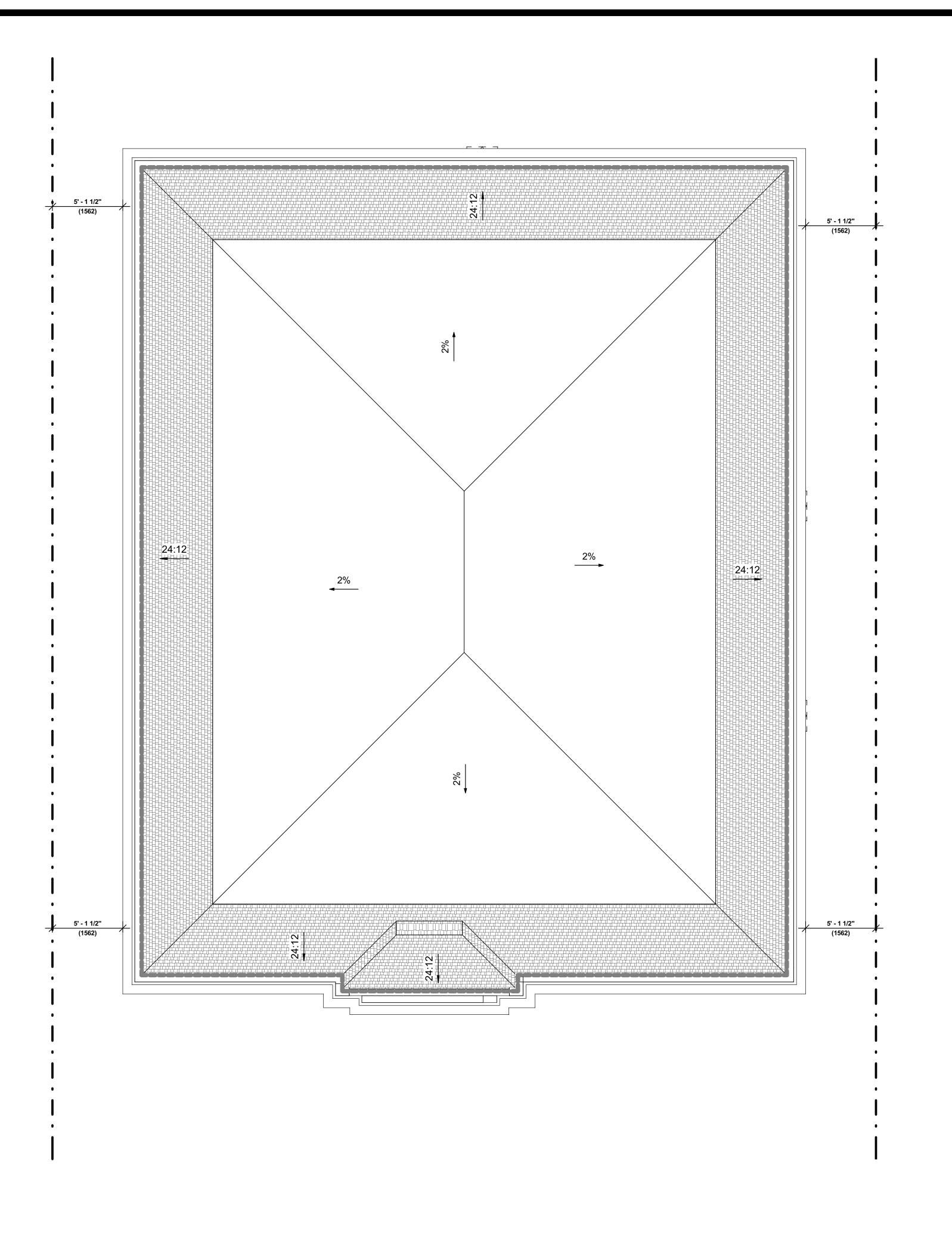
SECOND FLOOR PLAN

A2.3

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing

7/5/2022 1:21:19 PM





NOTES:

1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.

2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.

3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.

4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.

5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.

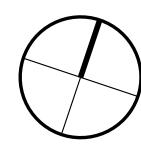
6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED. 7. DO NOT SCALE DRAWINGS.

REVISION RECORD

No.	Description	Date
1	REVISED AS PER CHANGEMARKS	JUNE 22, 2022
ISSU	JE RECORD	1

Z Square Consulting Inc. 1100 Gordon Baker Road, Toronto, Ontario, M2H 3B3
<b>T</b> 647 291 0088
E info@zsquareconsulting.com
 W www.zsquareconsulting.com

consulting.com onsulting.com



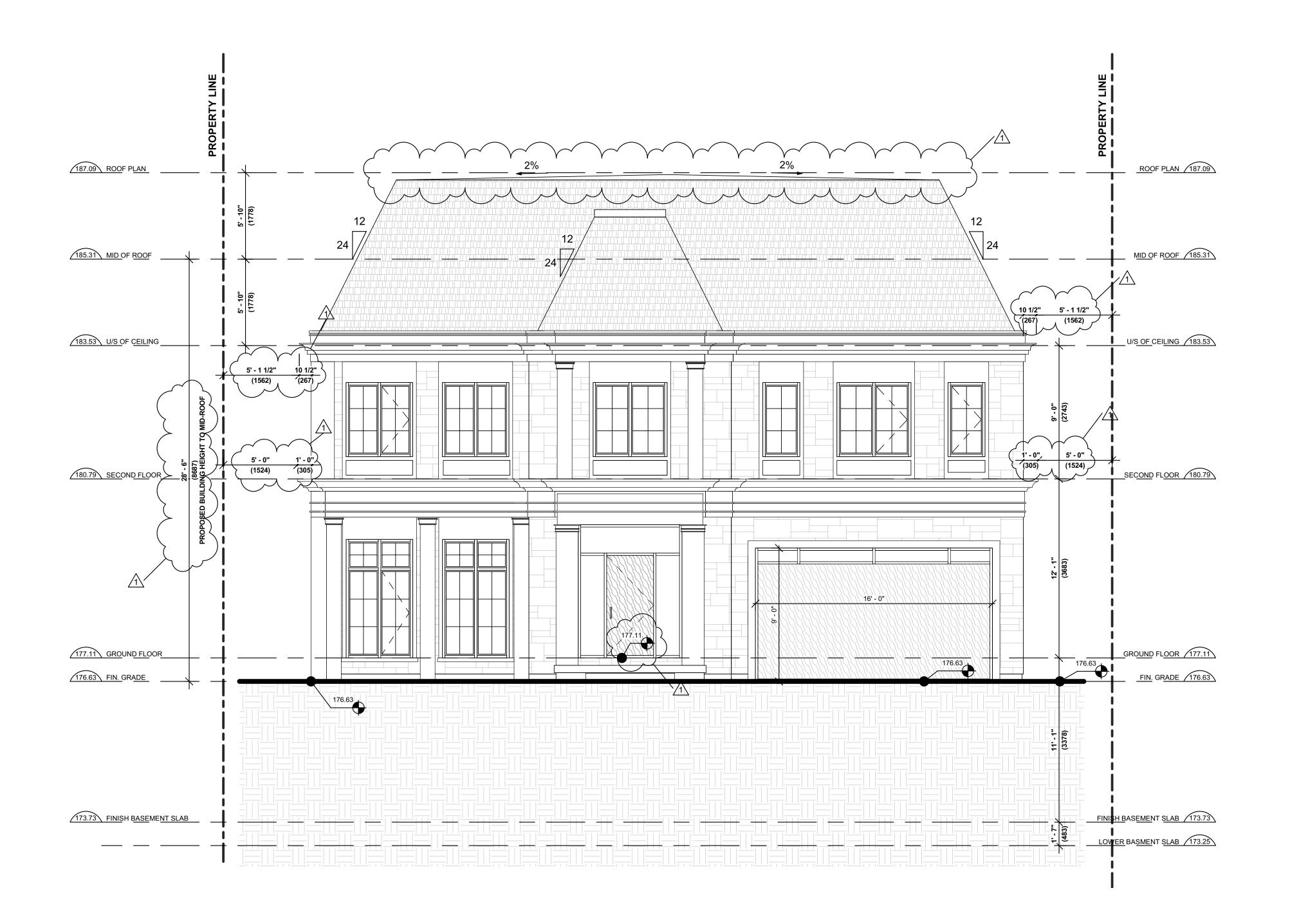
170 KRIEGHOFF AVE

22018 1:50 PROJECT SCALE

RL MDZ Drawn reviewed

ROOF PLAN





ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.

 ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.

3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.

4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.

MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.

 TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD.

TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.

7. DO NOT SCALE DRAWINGS.

REVISION RECORD

No.	Description	Date
1	REVISED AS PER CHANGEMARKS	JUNE 22, 2022
	  E BECORD	

ISSUE RECORD

Z Square Consulting Inc. 1100 Gordon Baker Road, Toronto, Ontario, M2H 3B3 T 647 291 0088

E info@zsquareconsulting.com
W www.zsquareconsulting.com

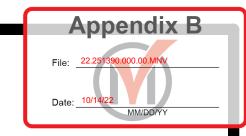
170 KRIEGHOFF AVE for

22018 1:50 PROJECT SCALE

RL MDZ Drawn reviewed

SOUTH (FRONT) ELEVATION

A3.





ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.

 ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.

3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.

4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.

EQUIPMENT.

5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM
BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS &
MUDROOMS.

TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.

7. DO NOT SCALE DRAWINGS.

REVISION RECORD

No.	Description	Date
1	REVISED AS PER CHANGEMARKS	JUNE 22, 2022
		_
-		
-		
-		+
<u> </u>		+
+		
		1
		1
ISSU	ERECORD	•

Z Square Consulting Inc. 1100 Gordon Baker Road, Toronto, Ontario, M2H 3B3
<b>T</b> 647 291 0088
E info@zsquareconsulting.com

W www.zsquareconsulting.com

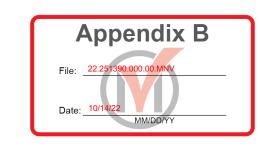
170 KRIEGHOFF AVE for

22018 1:50 PROJECT SCALE

RL MDZ drawn reviewed

NORTH (REAR) ELEVATION

A3.2





|--|

1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.

2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.

3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.

4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.

5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.

6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.

### REVISION RECORD

7. DO NOT SCALE DRAWINGS.

Description	Date
REVISED AS PER CHANGEMARKS	JUNE 22, 20
I E PECOPO	
JE KECUKD	

Г	

Z Square Consulting Inc.
1100 Gordon Baker Road,
Toronto, Ontario, M2H 3B3

T 647 291 0088
E info@zsquareconsulting.com
W www.zsquareconsulting.com

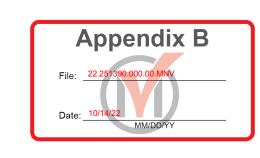
170 KRIEGHOFF AVE for

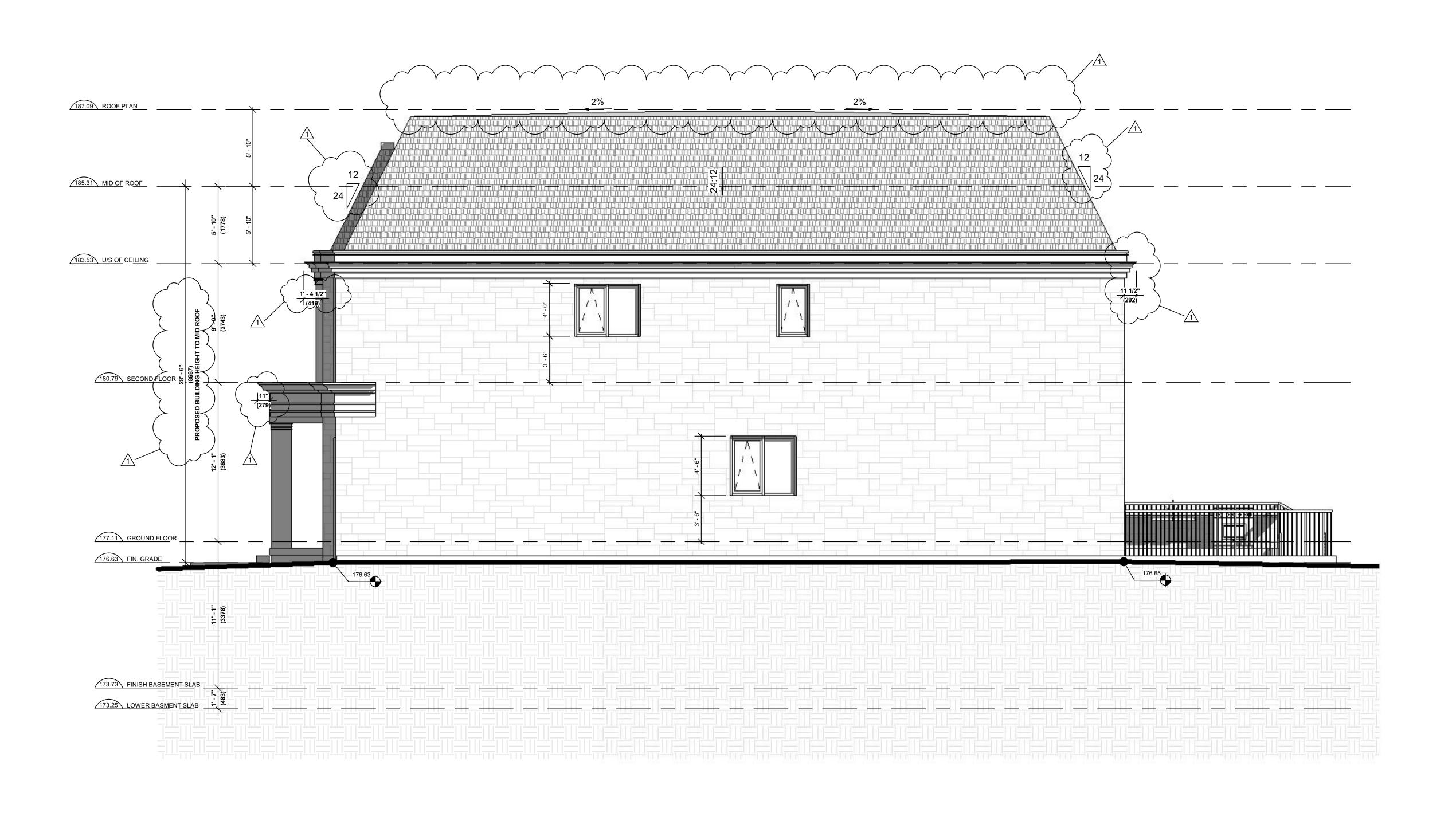
22018 1:50 PROJECT SCALE

RL MDZ Drawn reviewed

WEST (SIDE) ELEVATION

A3.3





NO	TES:	
		•

1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER. 2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.

3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.

4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.

5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS. 6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED. 7. DO NOT SCALE DRAWINGS.

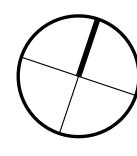
### REVISION RECORD

No.	Description	Date
1	REVISED AS PER CHANGEMARKS	JUNE 22, 2022
ISSL	JERECORD	

ı	
ı	
ı	
ı	
ı	
ı	

Z Square Consulting Inc. 1100 Gordon Baker Road, Toronto, Ontario, M2H 3B3

T 647 291 0088 E info@zsquareconsulting.com W www.zsquareconsulting.com



170 KRIEGHOFF AVE

22018 1:50 PROJECT SCALE

DRAWN REVIEWED

EAST (SIDE) ELEVATION

#### Appendix "C" - A/139/22 Conditions of Approval

#### CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/139/22

- 1. The variances apply only to the proposed development as long as it remains;
- 2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
- 3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
- 4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations; and
- 5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations.

CONDITIONS PREPARED BY:

Deanna Schlosser, MCIP RPP, Senior Planner, Central District