

Memorandum to the City of Markham Committee of Adjustment

August 19, 2022

File: A/100/21
Address: 165 Carlton Road, Markham
Applicant: Yanhui Jia
Agent: W.E Consulting & Construction Ltd. (Jerry Yue)
Hearing Date: Wednesday August 24, 2022

The following comments are provided on behalf of the Central Team:

The applicant is requesting relief from the following requirements of the “Fourth Density Single Family Residential (R4) Zone” in By-law 11-72, as amended, to permit:

a) Section 5.1:

one accessory dwelling unit, whereas the By-law permits no more than one (1) dwelling unit on one (1) lot; as it relates to proposed secondary suite (basement apartment).

BACKGROUND

Property Description

The 585.74 m² (6,304.85 ft²) subject property is located on the south side of Carlton Road east of Fred Varley Drive (see Appendix “A” – Aerial Photo). The property is located within an established residential neighbourhood comprised primarily of two-storey detached dwellings.

There is an existing 168.40 m² (1,812.64 ft²) two-storey detached dwelling on the property, which according to assessment records was constructed in 1980. Mature vegetation exists on the property including one large mature tree in the rear yard.

Proposal

The applicant is requesting permission for a secondary suite in the basement of the existing dwelling. The proposal includes a new egress window at the front of the dwelling, and a walk-out entrance for the secondary suite, plus a sunroom addition. The proposed secondary suite would have direct and separate access provided by a proposed walk-out at the rear of the dwelling (See Appendix “B” – Plans).

COMMENTS

Staff are satisfied that the proposed development meets the criteria under [Section 8.13.8](#) of the Official Plan for the establishment of a secondary suite, meets the policies of the Region’s Official Plan, and applicable Provincial policies. Staff support its approval in accordance with the requirements under Section 16(3) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

Zoning Preliminary Review (ZPR) Not Undertaken

The applicant has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. However, the applicant has received comments from the building department through their permit process (HP 20 129292) to confirm the variances required for the proposed development.

PUBLIC INPUT SUMMARY

No written submissions were received as of August 15, 2022. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

Please see Appendix "C" for conditions to be attached to any approval of this application.

PREPARED BY:

A handwritten signature in black ink that reads "Hussnain Mohammad". The signature is written in a cursive style with a large initial 'H'.

Hussnain Mohammad, Development Technician, Zoning and Special Projects

REVIEWED BY:

A handwritten signature in purple ink that appears to read "D. Schlosser". The signature is written in a cursive style with a large initial 'D'.

Deanna Schlosser, MCIP RPP, Senior Planner, Central District

APPENDICES

Appendix "A" – Aerial Photo

Appendix "B" – Plans

Appendix "C" – Conditions



Legend

- Parcel
- Park Facility
- Parks
 - Under Development
 - <all other values>

1: 1,128



57.3 0 28.65 57.3 Meters

NAD_1983_UTM_Zone_17N
© City of Markham

DISCLAIMER: The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments. If you have questions or comments regarding the data displayed on this map, please email cgis@markham.ca and you will be directed to the appropriate department.

Notes

Appendix B

File: 21.129286.000.00.MNV

Date: 08/23/22

MM/DD/YY

Date: 08/23/22

GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, O. REG 332/12. AS AMENDED; ANY CHANGES MADE TO THE REVIEWED PLANS WILL REQUIRE A REVISION PERMIT.
2. EXCEPT FOR PERMITTED OPENINGS SUCH AS TIGHTLY FITTED ELECTRICAL OUTLET BOXES, CERTAIN DUCT OPENINGS AND FIRE DAMPERS; FIRE SEPARATIONS SHALL BE CONTINUOUS TO ANOTHER FIRE SEPARATION, EXTERIOR WALL OR ROOF.
3. DOORS IN A FIRE SEPARATION MUST BE 20 MINUTE RATED OR 45mm SOLID CORE WOOD DOORS AND EQUIPPED WITH A SELF-CLOSING DEVICE. UNRATED WOOD DOORS FRAMES MUST BE A MINIMUM OF 28mm THICK OR EXISTING WOOD FRAMES ARE ACCEPTABLE PROVIDED THEY ARE SECURED WITH HINGE SCREWS GOING THROUGH THE FRAME AND INTO THE JACK STUD. DOOR FRAME INSTALLATION MUST BE SMOKE-TIGHT.
4. EXCEPT FOR BATHROOMS, PUBLIC CORRIDORS AND EXITS, INTERIOR WALL AND CEILING FINISHES SHALL HAVE A SURFACE FLAME-SPREAD RATING OF NO MORE THAN 150.
5. FIRE BLOCKS SHALL BE PROVIDED AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES IN INTERIOR COVERED CEILING, DROP CEILINGS AND SOFFITS WHERE THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE CONCEALED SPACES HAVE A SURFACE FLAME-SPREAD RATING GREATER THAN 25.
6. WHERE AUTOMATIC FIRE SPRINKLERS ARE INSTALLED IN LIEU OF A FIRE RESISTANCE RATING, ONLY NEW SPRINKLERS MAY BE USED AND MUST BE INSTALLED IN ACCORDANCE WITH THEIR LISTING. AUTOMATIC SPRINKLERS SHALL BE POSITIONED SO THAT RESPONSE TIME AND DISCHARGE ARE NOT UNDULY AFFECTED BY OBSTRUCTIONS. UNLESS HYDRAULICALLY DESIGNED, SPRINKLER PIPING SHALL BE A RESIDENTIAL FULL FLOW-THROUGH FIRE SPRINKLER SYSTEM CONSISTING OF $\frac{3}{4}$ " (MINIMUM) COPPER SUPPLY PIPE AND FITTINGS.
7. SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING AND IN CONFORMANCE WITH CAN/ULC-S553, "INSTALLATION OF SMOKE ALARMS". SMOKE ALARMS SHALL INCLUDE A VISUAL SIGNALING COMPONENT AND BE HARDWARE AND INTERCONNECTED IN ACCORDANCE WITH THE REVIEWED DRAWINGS. IN CASE OF REGULAR POWER SUPPLY INTERRUPTION, SMOKE ALARMS SHALL HAVE BATTERY BACKUP POWER CAPABLE OF LASTING FOR 7 DAYS WHILE IN THE NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM SIGNALLING.

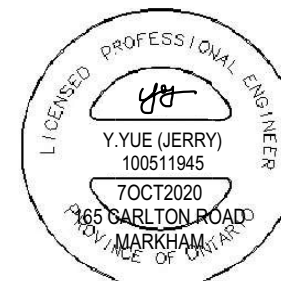
8. PROVIDE CARBON MONOXIDE ALARMS CONFORMING TO CAN/CSA-6.19, "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES", OR UL2034, "SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS", ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED. BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO AN ELECTRICAL OUTLET.
9. BATTERY POWERED EMERGENCY LIGHTING UNITS CONFORMING TO CSA-C22.2 NO.141, "EMERGENCY LIGHTING EQUIPMENT" SHALL BE PROVIDED IN ANY COMMON MEANS OF EGRESS.
10. A DUCT-TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION AND MUST BE INSTALLED ACCORDING TO THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
11. NATURAL VENTILATION FOR LIVING ROOMS, DINING ROOMS, BEDROOMS AND KITCHENS MUST BE PROVIDED BY MEANS OF AN OPENABLE WINDOW AREA OF 0.28m² PER ROOM OR COMBINATION OF ROOMS. NATURAL VENTILATION FOR BATHROOMS OR WATER CLOSET ROOMS MUST BE PROVIDED BY MEANS OF AN OPENABLE WINDOW AREA OF 0.09m² WHERE A ROOM OR SPACE IS NOT PROVIDED WITH NATURAL VENTILATION, MECHANICAL VENTILATION SHALL BE PROVIDED. EXHAUST FAN SHALL DISCHARGE DIRECTLY TO THE EXTERIOR.
12. PROVISION SHALL BE MADE FOR RETURN-AIR FORM ALL ROOMS BY LEAVING GAPS BENEATH DOORS, USING LOUVERED DOORS OR INSTALLING RETURN DUCT INLETS. RETURN-AIR INLETS SHALL NOT BE INSTALLED IN AN ENCLOSED ROOM OR CROWN SPACE THAT PROVIDES COMBUSTION AIR TO THE FURNACE OR SERVICE WATER HEATER.
13. WHERE NEW CONSTRUCTION COULD RESTRICT THE SUPPLY OF COMBUSTION AIR OF ANY EXISTING FUEL-FIRE APPLIANCES, AN ADEQUATE COMBUSTION AIR SUPPLY SHALL BE PROVIDED TO ENSURE PROPER COMBUSTION AND SAFE OPERATION OF THE FURNACE AND/OR SERVICE WATER HEATER.
14. NEW ELECTRICAL WORK MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY (CALL: 877-372-7233).

PLUMBING NOTES:

1. THE MAXIMUM HOT WATER TEMPERATURE SUPPLIED TO FIXTURES IN RESIDENTIAL OCCUPANCIES SHALL NOT EXCEED 49°C (120°F), AS PER OBC ARTICLE 7.6.5.1.
2. DISHWASHER AND CLOTHES WASHERS ARE EXEMPT FROM THIS REQUIREMENT.
3. ALL THERMOSTATIC MIXING VALVES SHALL CONFORM TO CAN/CSA-B125, "PLUMBING FIXTURES" AND SHALL BE LABELLED ACCORDINGLY.

HVAC NOTES:

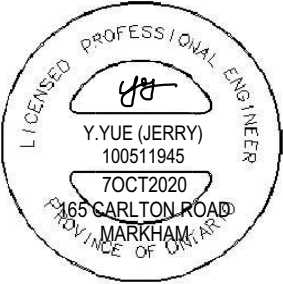
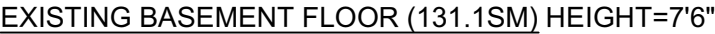
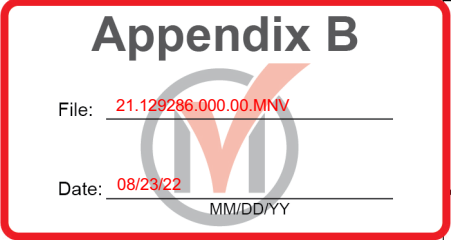
1. PROVIDE SUPPLY AIR REGISTER IN COMPLIANCE WITH OBC DIV B 9.33.3.1(1).
2. THE RETURN AIR GRILLE SHALL BE INSTALLED NEAR THE FLOOR LEVEL (HARI REQ'S). UNDERCUT BY MINIMUM 1" THE DOOR TO ANY ROOM WITHOUT RETURN AIR GRILLE.
3. INSTALL MECHANICAL VENTILATION PER OBC DIV B 9.32.1.3(3) REQ'S EXHAUST FAN SHALL DISCHARGE DIRECTLY TO OUTSIDE.



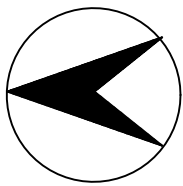
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CONSTRUCTION NOTE FOR STAIRCASE: 1. STAIRCASE AND GUARD 1.1 A HANDRAIL SHALL BE INSTALLED ON STAIRS AND RAMPS IN CONFORMANCE WITH OBC 9.8.7.. 1.2 A GUARD SHALL BE INSTALLED IN CONFORMANCE WITH OBC 9.8.8. 1.3 A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2 RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3 RISERS. 1.4 GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 600mm ABOVE THE ADJACENT LEVEL AND WHERE THE ADJACENT SURFACE HAS A SLOPE MORE THAN 1:2. 1.5 INTERIOR AND EXTERIOR GUARDS MIN. 900mm HIGH. EXTERIOR GUARDS SHALL BE 1070mm HIGH WHERE HEIGHT ABOVE ADJACENT SURFACE EXCEEDS 1800mm. 1.6 GUARDS SHALL HAVE OPENINGS SMALLER THAN 100mm AND NO MEMBER BETWEEN 140mm AND 900mm THAT WILL FACILITATE CLIMBING. 1.7 ALL FOUNDATION SHALL CONFORM TO OBC 9.15.3. 1.8 THE STAIR RISE, WHICH IS MEASURED AS THE VERTICAL NOSING-TO-NOSING DISTANCE, SHALL CONFIRM TO O.B.C. TABLE 9.8.4.1. 1.9 THE STAIR RUN, WHICH IS MEASURED AS THE HORIZONTAL NOSING-TO-NOSING DISTANCE, AND THE TREAD DEPTH OF RECTANGULAR TREADS SHALL CONFIRM TO O.B.C. TABLE 9.8.4.1. THE DEPTH OF A RECTANGULAR TREAD SHALL BE NOT LESS THAN ITS RUN AND NOT MORE THAN ITS RUN PLUS 25mm. 1.10 ANGLED TREADS IN REQUIRED EXIT STAIRS SHALL CONFORM TO THE REQUIREMENTS IN O.B.C. 3.4.6.9. EXCEPT AS PROVIDED IN O.B.C. 9.8.4.5, ANGLED TREADS IN OTHER THAN REQUIRED EXIT STAIRS SHALL HAVE AN AVERAGE RUN, WHICH IS MEASURED AS THE HORIZONTAL NOSING-TO-NOSING DISTANCE, OF NOT LESS THAN 200mm AND A MINIMUM RUN OF 150mm. 1.11 RISERS SHALL BE OF UNIFORM HEIGHT IN ANY ONE FLIGHT WITH A MAXIMUM TOLERANCE OF, (a) 5mm BETWEEN ADJACENT TREADS OR LANDINGS AND, (b) 10mm THE TALLEST AND SHORTEST RISERS IN A FLIGHT. 1.12 WINDERS STAIRS WITHIN DWELLING UNITS ARE PERMITTED TO CONTAIN WINDERS THAT CONVERGE TO A CENTRE POINT PROVIDED, (a) THE WINDERS TURN THROUGH AN ANGLE OF NOT MORE THAN 90° (b) INDIVIDUAL TREADS TURN THROUGH AN ANGLE OF NOT LESS THAN 30° OR NOT MORE THAN 45° (c) ADJACENT WINDERS TURN THROUGH THE SAME ANGLE.		1.13 LEADING EDGES OF TREADS LEADING EDGES OF TREADS THAT ARE BEVELLED OR ROUNDED SHALL (a) NOT REDUCE THE REQUIRED TREAD DEPTH BY MORE THAN 15mm (b) NOT, IN ANY CASE, EXCEED 25mm HORIZONTALLY. MAXIMUM RISE 200mm MINIMUM RUN 210mm MINIMUM TREAD 235mm MINIMUM HEAD ROOM 1950mm MINIMUM WIDTH 860mm		<div>Appendix B</div> <div>File: 21.129286.000.00.MNV</div> <div>Date: 08/23/22</div> <div>MM/DD/YY</div>																																							
				<div><div><div>LICENSED PROFESSIONAL ENGINEER</div><div>Y.YUE (JERRY)</div><div>100511945</div><div>12APR2021</div><div>165 CARLTON ROAD MARKHAM</div><div>PROVINCE OF ONTARIO</div></div><div><table><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td>A</td><td>12NOV2020</td><td>MINOR REVISION.</td><td>JY</td></tr><tr><td>No.</td><td>DATE</td><td>DESCRIPTION</td><td>BY</td></tr><tr><td colspan="2">PROJECT NAME:</td><td colspan="2">DRAWING TITLE:</td></tr><tr><td colspan="2">PROPOSED PROPERTY RENOVATION CONSTRUCTION</td><td colspan="2">CONSTRUCTION NOTE FOR STAIR</td></tr><tr><td colspan="2">165 CARLTON ROAD MARKHAM, ON</td><td>DATE: 12 APR 2021</td><td>SCALE: -</td></tr><tr><td>JOB NUMBER:</td><td>DRAWING NUMBER:</td><td>DRAWN BY:</td><td>REV.</td></tr><tr><td>-</td><td>A0.2</td><td>JY</td><td>0</td></tr></table></div></div>												A	12NOV2020	MINOR REVISION.	JY	No.	DATE	DESCRIPTION	BY	PROJECT NAME:		DRAWING TITLE:		PROPOSED PROPERTY RENOVATION CONSTRUCTION		CONSTRUCTION NOTE FOR STAIR		165 CARLTON ROAD MARKHAM, ON		DATE: 12 APR 2021	SCALE: -	JOB NUMBER:	DRAWING NUMBER:	DRAWN BY:	REV.	-	A0.2	JY	0
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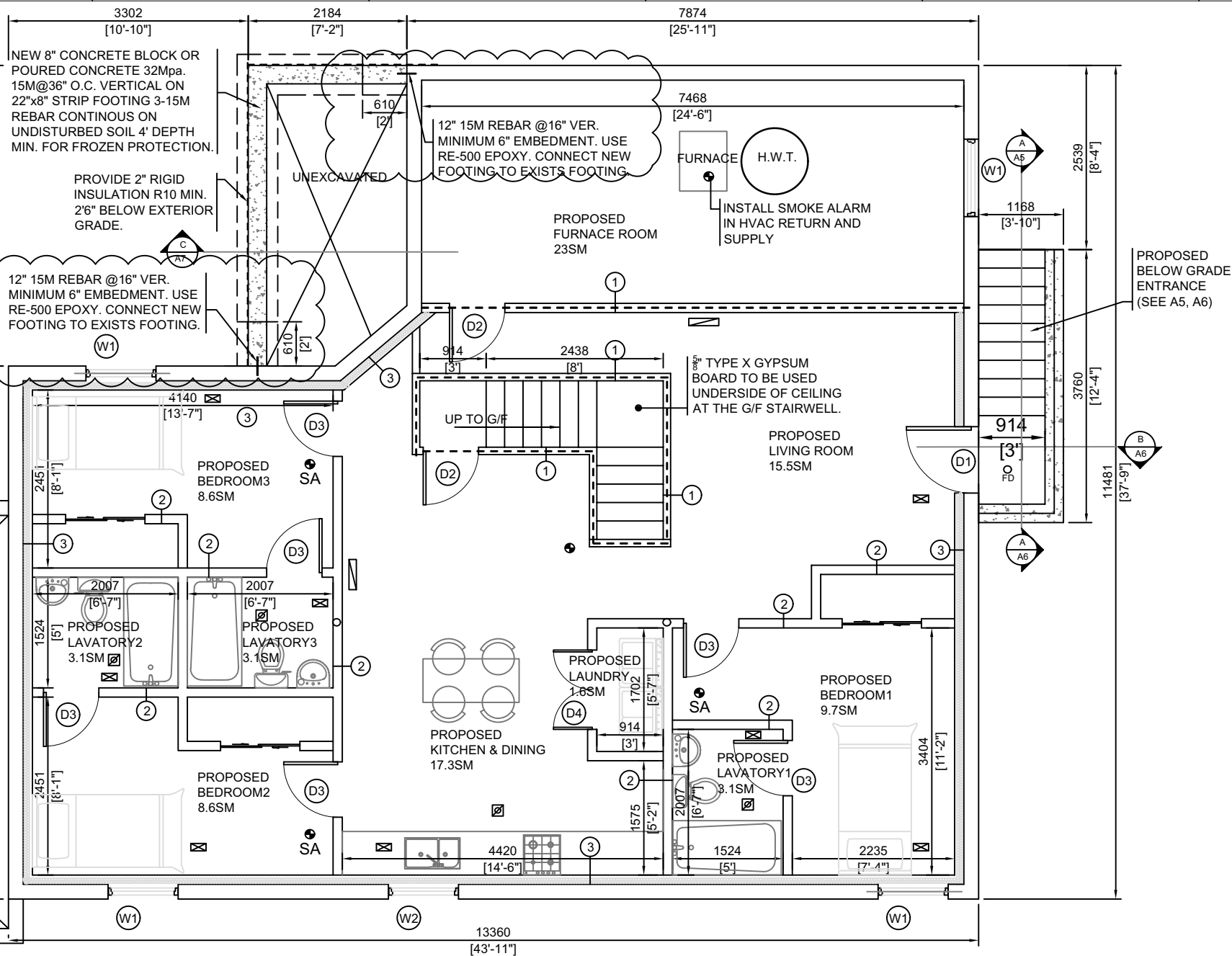
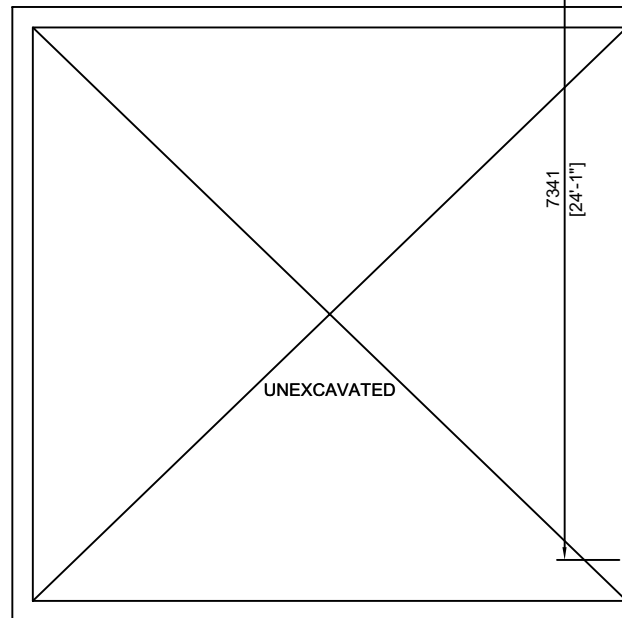


Legend:

- Emergency Lighting & Smoke Alarm & Carbon Monoxide Detector
- Smoke Alarm with Visual Signal Component
- Supply Air Duct
- Return Air Duct
- 4" Dia. Floor Drain
- Exhausted Fan Min. 70 CFM, vent to exterior

30 Mins Fire Rated Wall

NOTE: The area for low headroom is in the furnace room (6'6"). There is no other low headroom below bulkhead/beam/duct in basement.



PROPOSED BASEMENT FLOOR (131.1SM) HEIGHT=7'6"

NOTES:

- 2"x4"@16"O.C. WITH 5/8"TYPE X DRYWALL ON BOTH SIDES. 30 MINS FIRE RATED WALL REQUIRED.
- 2"x4"@16"O.C. INTERNAL WALL
- 2"x4"@16"O.C.
- SOLID WOOD DOOR SIZE 36"x80" (EXTERNAL DOOR, 1.85SM) PROTECTED WITH SELF CLOSING DEVICE, FIRE RATED DOORS INSTALLED IN HOLLOW METAL. 20 MINS FIRE RATED WALL REQUIRED.
- SOLID WOOD DOOR SIZE 32"x80" (INTERNAL DOOR, 1.65SM) PROTECTED WITH SELF CLOSING DEVICE, FIRE RATED DOORS INSTALLED IN HOLLOW METAL. 20 MINS FIRE RATED WALL REQUIRED.
- WOOD DOOR SIZE 32"x80" (INTERNAL DOOR, 1.65SM)
- WOOD DOOR SIZE 48"x80" (INTERNAL DOOR)

CONSTRUCTION DETAILS:

- Ceiling must be 5/8" Type X fire rated gypsum board.
- Minimum 7' ceiling wall height at continuous drywall bulkheads.
- Carbon monoxide detectors shall be installed adjacent to each sleeping area, as per OBC 9.33.4.
- Smoke alarms shall be installed on each storey of dwelling unit, including basements OBC 9.10.18 & 19.
 - Interconnect smoke alarm all floors with visual signed. 20 minutes FRR minimum.
 - There is at least one smoke alarm installed on each storey.
 - On any storey containing a bedroom, a smoke alarm is installed in each bedroom, and in a location between the bedrooms and the remainder of the storey, and if the bedrooms are served by a hallway, the smoke alarm shall be located in the hallway.
- All members shall be so framed, fastened, tied, braced and anchored to provide the necessary strength, rigidity and stability per OBC 9.23.2.1. 20 minutes FRR minimum.
- All bathroom and kitchen areas require supplemental exhaust conforming to OBC Div. B Sub 9.32.5.5.
- All Shower valves shall conform to OBC Div. B Article 7.6.5.2.
- Ventilation to conform to OBC Div. B 9.32.

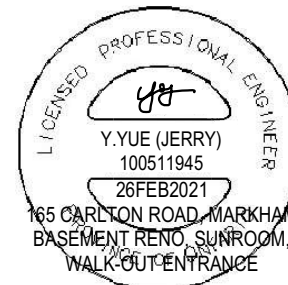
- Windows, doors and skylights shall be in conformance with OBC Div. B 9.7 and SB-12.
- All gas appliances must be installed by a licensed gas technician and inspected by Enbridge. For more information call Enbridge at 1-877-362-7434 or visit www.enbridgegas.com
- All electrical wiring must be inspected by the electrical safety authority. Separate inspection applications (permits) must be filed. We recommend to use a qualified electrical contractor. For more information please call 1-877-372-7233 or visit www.esafe.com

Lintel note (For 1200mm Max.)

- Solid Masonary: 2-90x90x6mm Angles.
- Brick Veneer: 1-90x90x6mm Angle + 2-38x184 (2x8) Lumber.
- Wood Frame/Siding: 2-38x184 (2x8) Lumber.

OBC 9.9.10.1

- Provide Unobstructed open portion having minimum area of 0.35sm with no dimension less than 380mm.
- Window shall be openable from inside with use of tools.



Appendix B

File: 21.129286.000.00.MNV

Date: 08/23/22

MM/DD/YY

A	12NOV2020	MINOR REVISION.	JY
No.	DATE	DESCRIPTION	BY
PROJECT NAME:		DRAWING TITLE:	
PROPOSED PROPERTY RENOVATION CONSTRUCTION		PROPOSED BASEMENT PLAN	
165 CARLTON ROAD, MARKHAM, ON		DATE: 7 OCT 2020 SCALE: 1:75 DRAWN BY: JY	
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NOTES:

(D5) SCREEN DOOR 72"x80" (EXTERNAL DOOR)

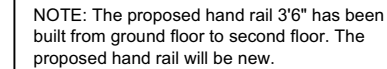
(W5) WINDOW 3'x4'

WA1 2"x6"@16"O.C. SPF#2

P1 6"x6" SPF#2

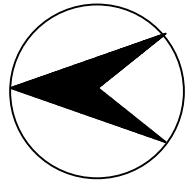
L1 3-2"x8" SPF#2

WA1 2"x6"@16"O.C. SPF#2
P1 6"x6" SPF#2
L1 3-2"x8" SPF#2



A circular professional engineer seal for Y. Yue (Jerry). The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "STATE OF CALIFORNIA" at the bottom. The center of the seal features a signature "Y. YUE" above the name "Y. YUE (JERRY)", the license number "100511945", and the expiration date "12APR2021". Below the seal, the text "165 CARLTON ROAD, MARKHAM" and "UNIT, SUN ROOM" is visible.

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No.	DATE	DESCRIPTION	BY
<div> <div></div> <div> <div>PROJECT NAME:</div> <div>PROPOSED PROPERTY RENOVATION CONSTRUCTION</div> <div>165 CARLTON ROAD</div> <div>MARKHAM, ON</div> </div> </div>		<div> <div></div> <div> <div>DRAWING TITLE:</div> <div>PROPOSED GROUND FLOOR</div> <div> <div>DATE: 7 OCT 2020</div> <div>SCALE: 1:75</div> <div>DRAWN BY: JY</div> </div> <div> <div>JOB NUMBER:</div> <div>-</div> </div> <div> <div>DRAWING NUMBER:</div> <div>A1.3</div> </div> <div> <div>REV.</div> <div>A</div> </div> </div> </div>	



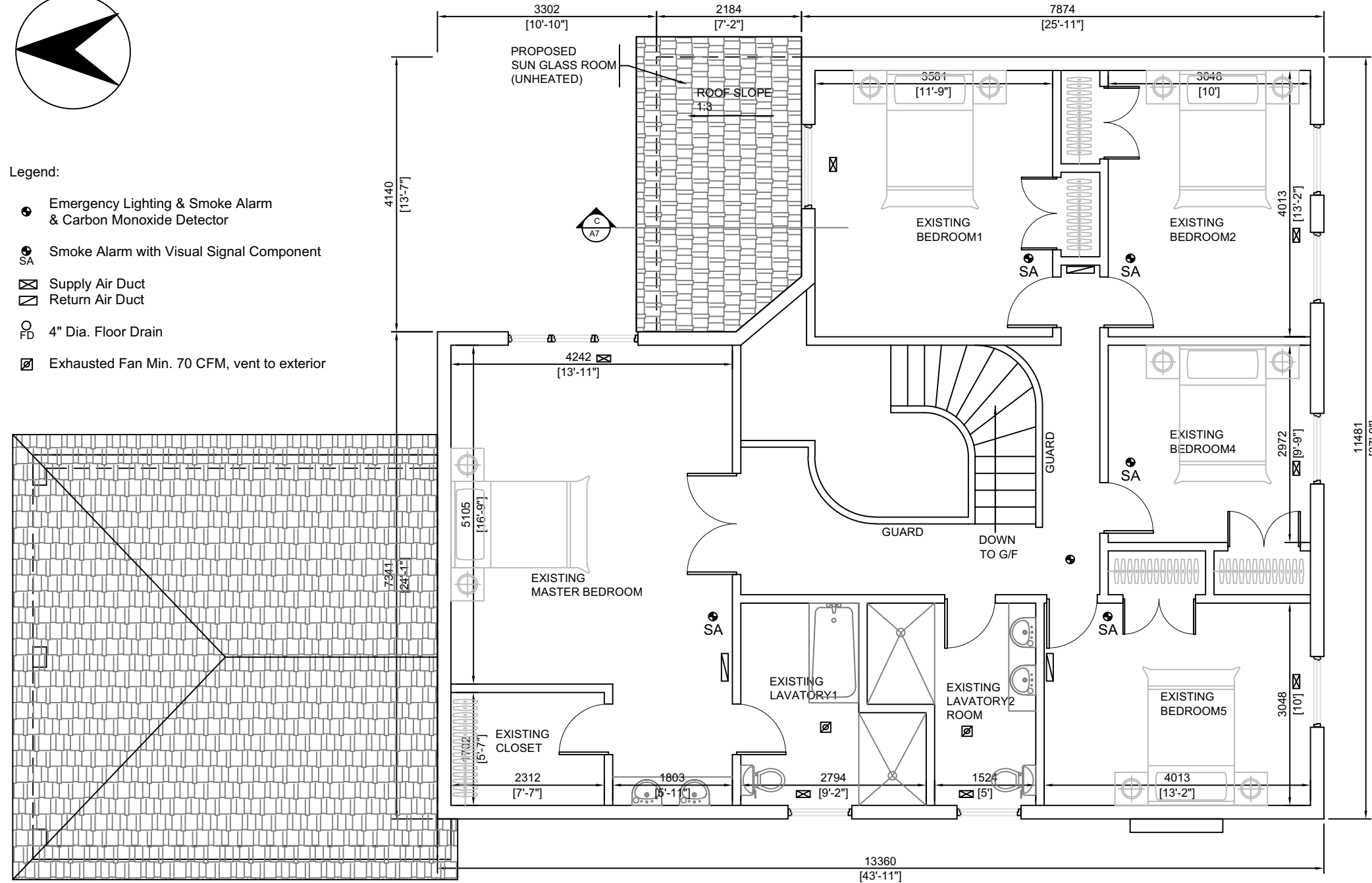
Legend:

- Emergency Lighting & Smoke Alarm & Carbon Monoxide Detector
- SA Smoke Alarm with Visual Signal Component
- Supply Air Duct
- Return Air Duct
- FD 4" Dia. Floor Drain
- Exhausted Fan Min. 70 CFM, vent to exterior

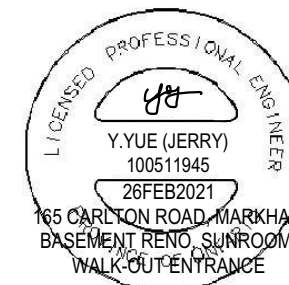
Appendix B

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PROPOSED SECOND FLOOR PLAN HEIGHT=8'
(ADDITION ROOM IN NORTH FRONT YARD)

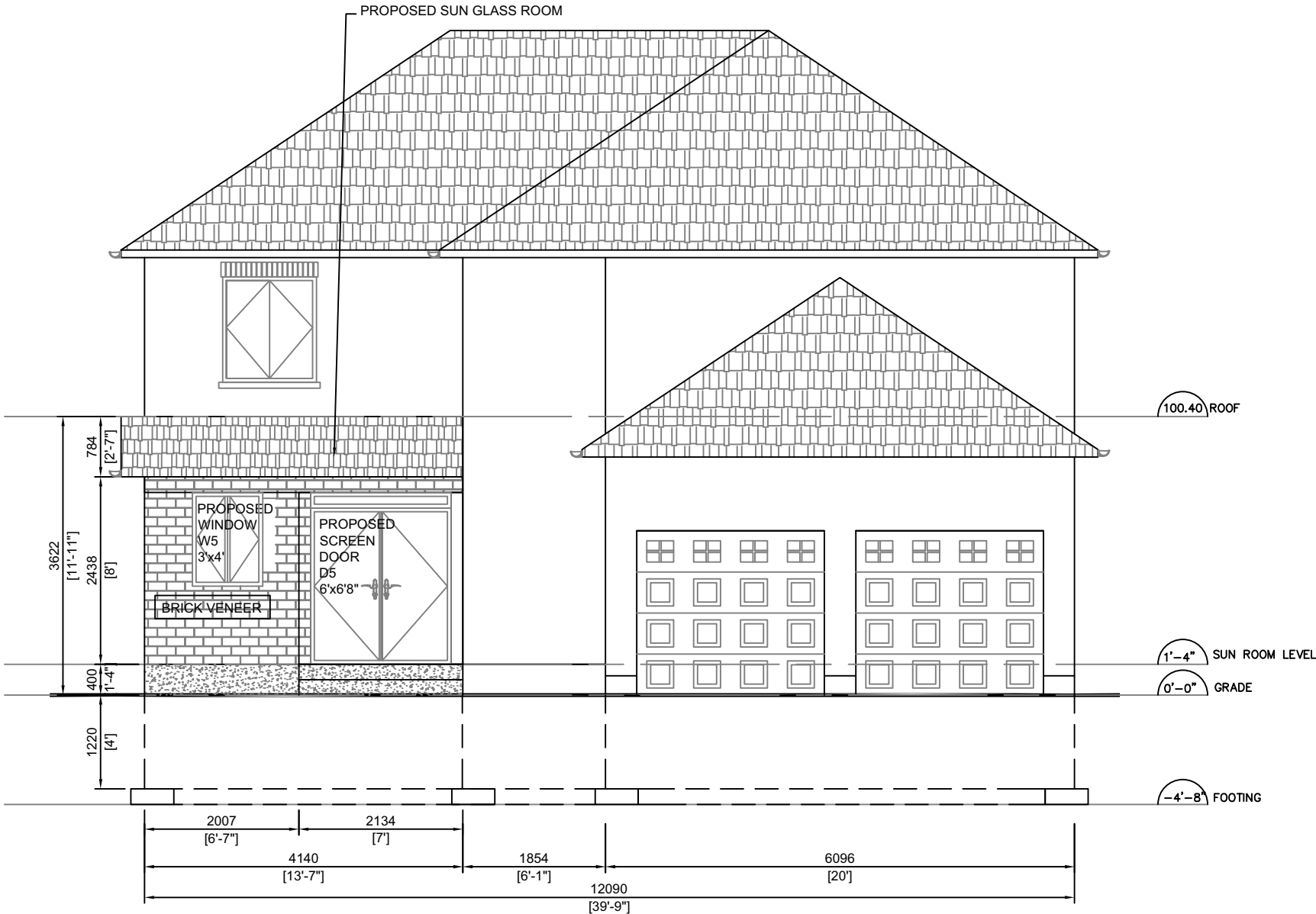


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No.	DATE	DESCRIPTION	BY
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165 CARLTON ROAD MARKHAM, ON		DATE: 7 OCT 2020	SCALE: 1:75
JOB NUMBER:		DRAWING NUMBER:	REV.
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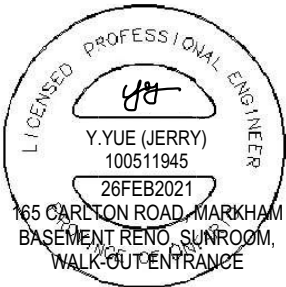
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PROPOSED NORTH ELEVATION

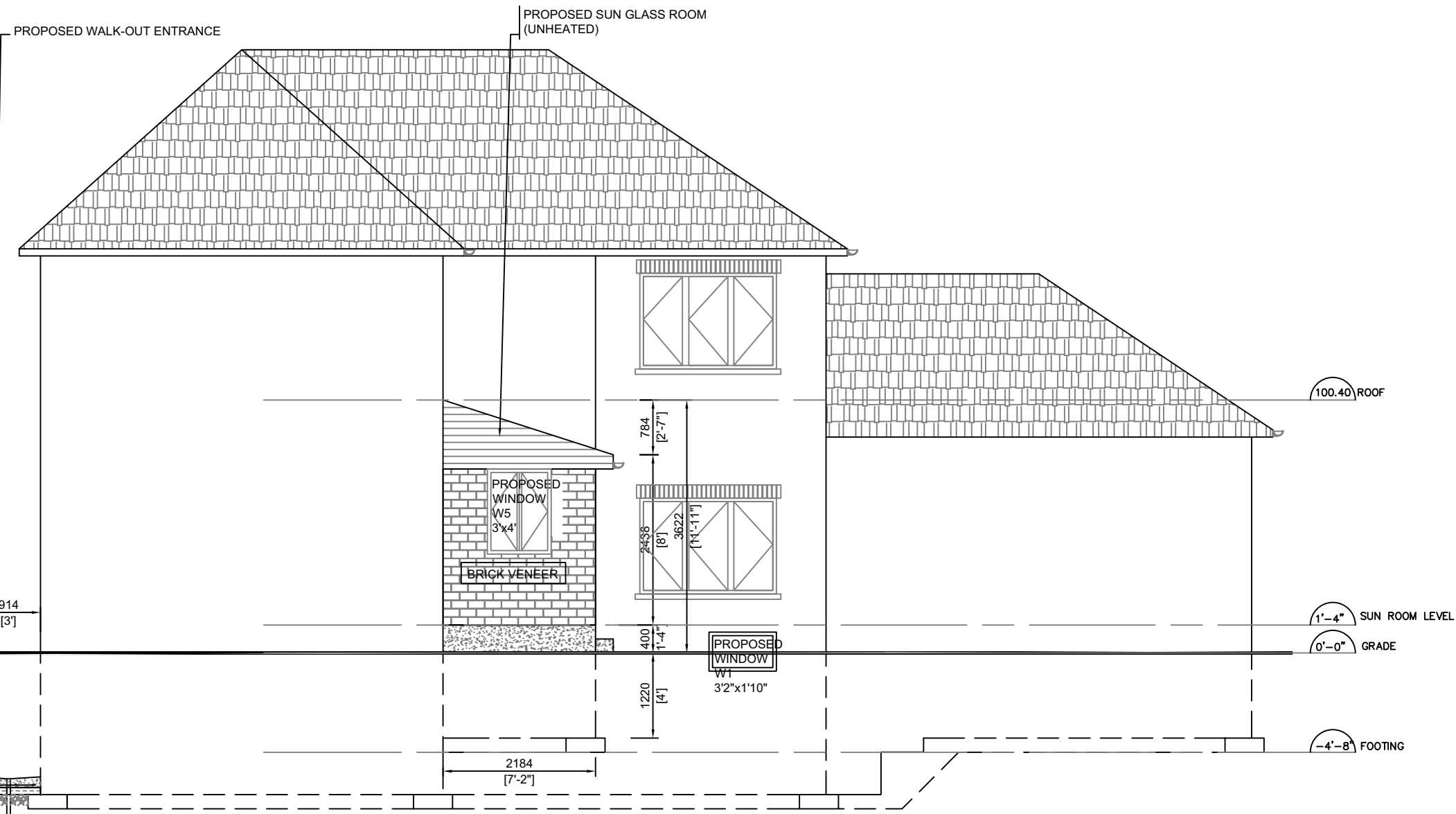
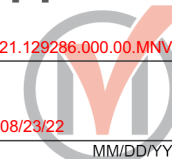


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PROJECT NAME:		DRAWING TITLE:	
PROPOSED PROPERTY RENOVATION CONSTRUCTION		PROPOSED NORTH ELEVATION	
DATE: 7 OCT 2020		SCALE: 1:75	DRAWN BY: JY
JOB NUMBER: -		DRAWING NUMBER: A9	REV: 0

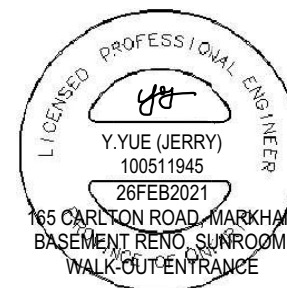
Appendix B

File: 21.129286.000.00.MNV

Date: 08/23/22
MM/DD/YY



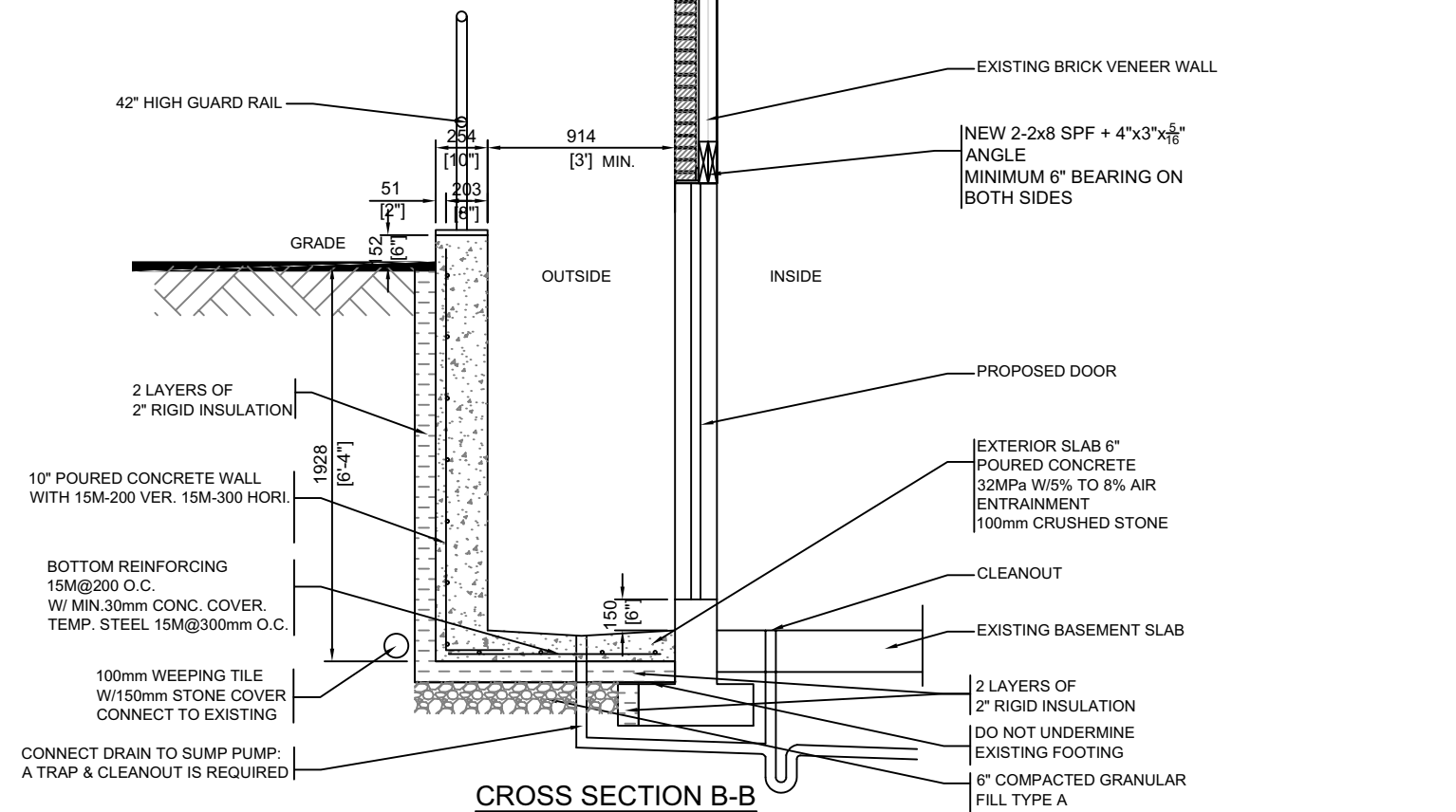
PROPOSED WEST ELEVATION



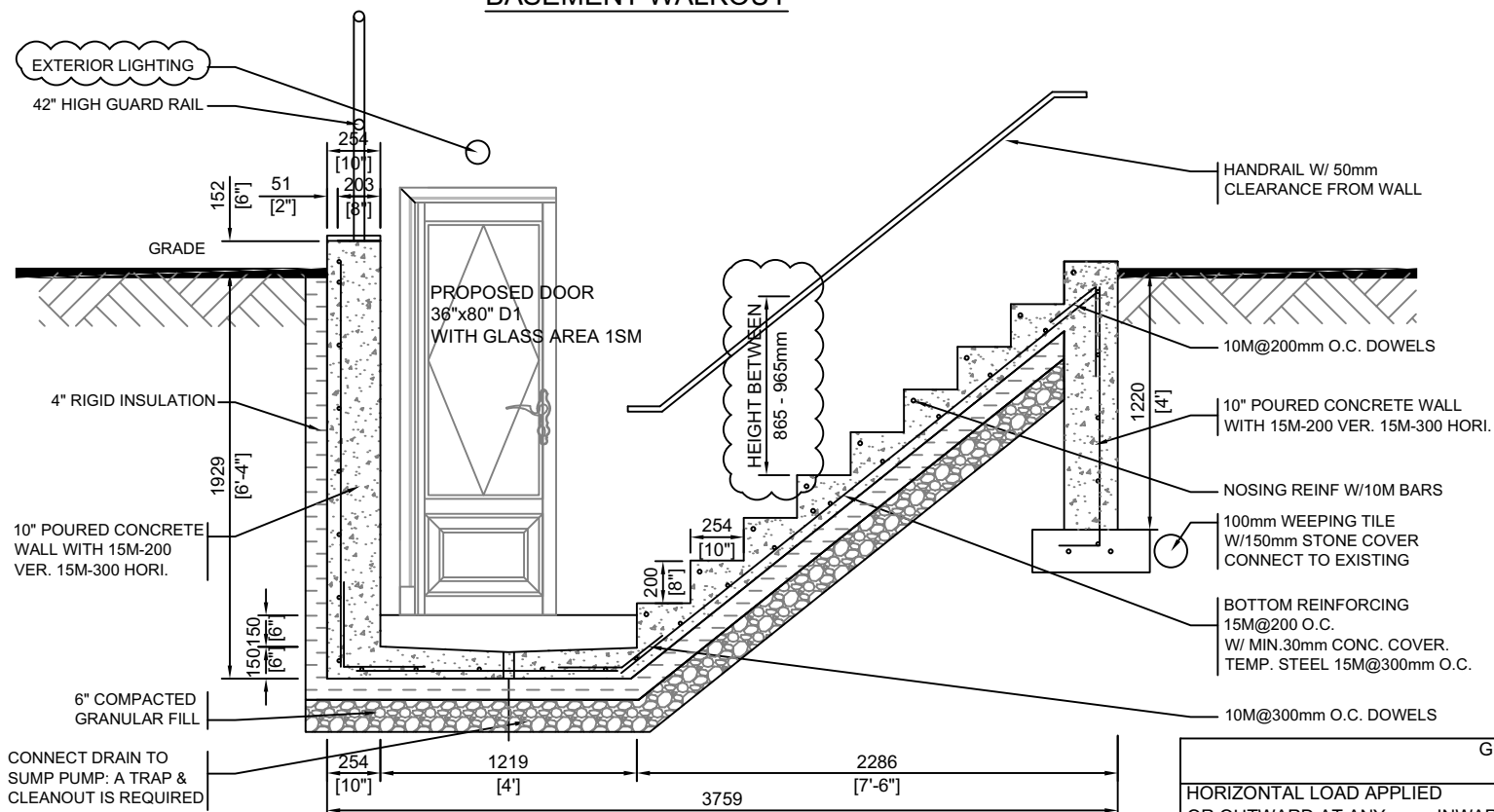
No.	DATE	DESCRIPTION	BY
PROJECT NAME:		DRAWING TITLE:	
PROPOSED PROPERTY RENOVATION CONSTRUCTION		PROPOSED WEST ELEVATION	
165 CARLTON ROAD MARKHAM, ON		DATE: 7 OCT 2020 SCALE: 1:75 DRAWN BY: JY	
JOB NUMBER:		DRAWING NUMBER:	
-		A10	
		REV.	
		0	

Appendix B

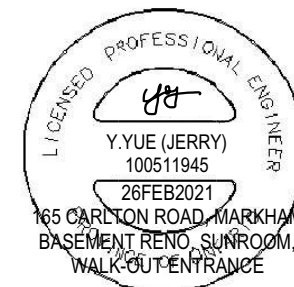
File: 21.129286.000.00.MNV
Date: 08/23/22
MM/DD/YY



CROSS SECTION B-B
BASEMENT WALKOUT

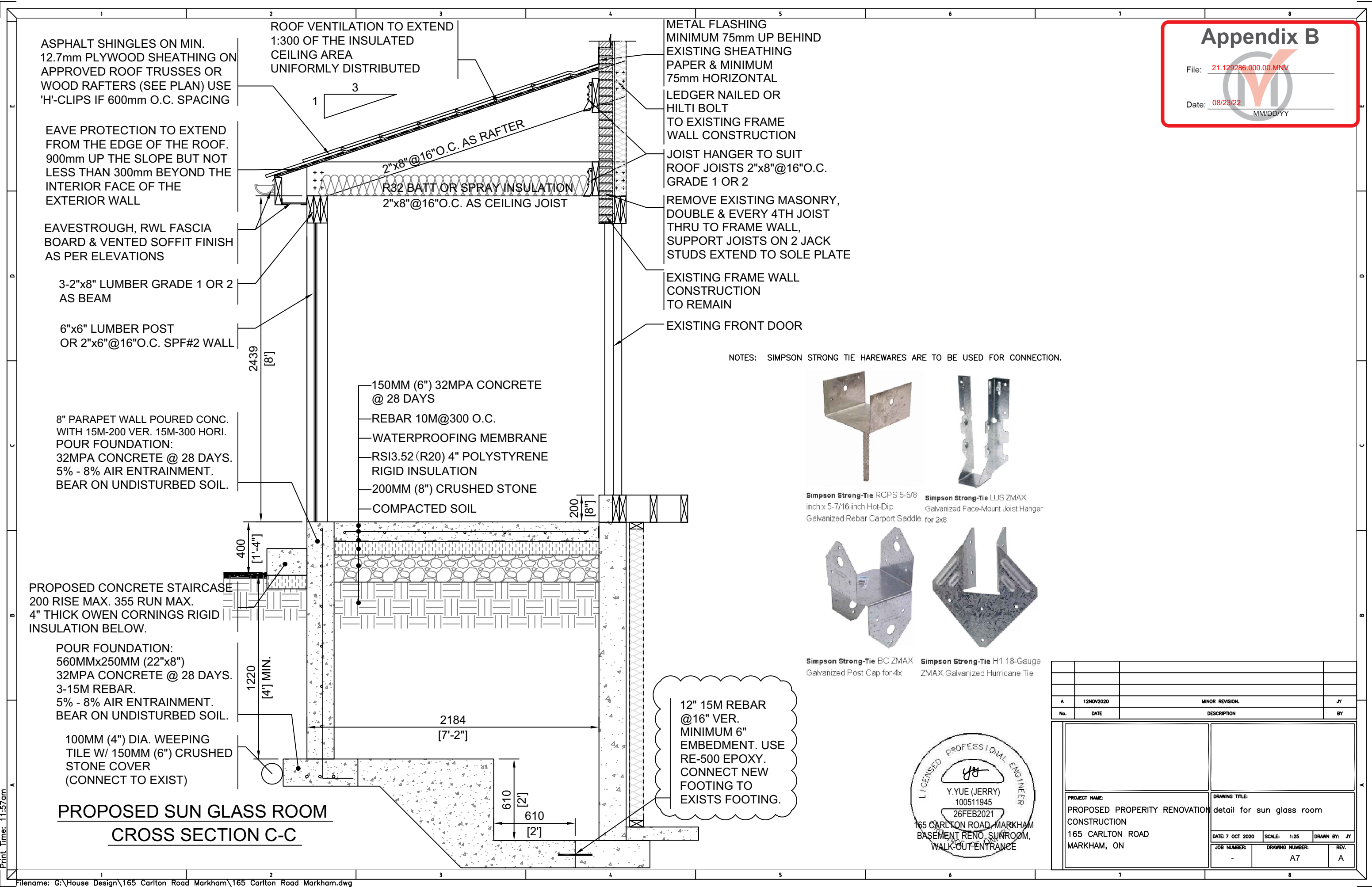


CROSS SECTION A-A
BASEMENT WALKOUT



GUARDRAIL DESIGN LOAD AS PER DEC 9.8.8.2		
HORIZONTAL LOAD APPLIED OR OUTWARD AT ANY INWARD OF THE GUARD ELEMENTS WITHIN	HORIZONTAL LOAD APPLIED INWARD OR OUTWARD ON POINT AT THE TOP OF THE GUARD INCLUDING SOLID PANELS & PICKET.	EVENLY DISTRIBUTED VERTICAL LOAD APPLIED AT THE TOP OF THE GUARD.
0.75 KN/M (52PSF) OR CONCENTRATED LOAD OF 1.0KN (224LB) APPLIED AT ANY POINT.	CONCENTRATED LOAD OF 0.5KN (112LB) OF APPLIED AT ANY POINT ON INDIVIDUAL ELEMENTS.	1.5KN/M (103LBS/FT)

A		12NOV2020	MINOR REVISION.	JY
No.	DATE	DESCRIPTION		BY
PROJECT NAME:		DRAWING TITLE:		
PROPOSED PROPERTY RENOVATION CONSTRUCTION		DETAILS FOR WALK-OUT ENTRANCE		
165 CARLTON ROAD MARKHAM, ON		DATE: 7 OCT 2020	SCALE: -	DRAWN BY: JY
JOB NUMBER:		DRAWING NUMBER:		REV.
-		A6		A



Appendix B

File: 21.129286.000.00.MNV

Date: 08/23/22

MM/DD/YY

NOTES: SIMPSON STRONG TIE HAREWARES ARE TO BE USED FOR CONNECTION.



12" 15M REBAR @16" VER. MINIMUM 6" EMBEDMENT. USE RE-500 EPOXY. CONNECT NEW FOOTING TO EXISTS FOOTING.



A	12NOV2020	MINOR REVISION.	JY
No.	DATE	DESCRIPTION	BY
PROJECT NAME:		DRAWING TITLE:	
PROPOSED PROPERTY RENOVATION CONSTRUCTION		detail for sun glass room	
165 CARLTON ROAD MARKHAM, ON		DATE: 7 OCT 2020 SCALE: 1:25 DRAWN BY: JY	
JOB NUMBER:		DRAWING NUMBER:	
-		A7	
		REV. A	

Print Time: 11:57am

Appendix B

File: 21.129286.000.00.MNV

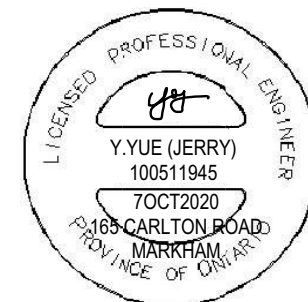
Date: 08/23/22

MM/DD/YY

Date: 08/23/22
MM/DD/YY

LOCATION	WITH ELECTRIC LIGHTING
LAUNDRY	WINDOWS NOT REQUIRED
BASEMENT	WINDOWS NOT REQUIRED
RECREATION ROOM	WINDOWS NOT REQUIRED
UNFINISHED BASEMENT	WINDOWS NOT REQUIRED
WATER-CLOSET ROOM	WINDOWS NOT REQUIRED
KITCHEN	WINDOWS NOT REQUIRED
KITCHEN SPACE	WINDOWS NOT REQUIRED
KITCHEN ALCOVE	WINDOWS NOT REQUIRED
LIVING / DINING	5% OR AREA SERVED
BEDROOMS & OTHER FINISHED ROOMS	2.5% OR AREA SERVED
NOT MENTIONED ABOVE	2.5% OR AREA SERVED

LOCATION	WITH ELECTRIC LIGHTING
BATHROOM OR WATER-CLOSET ROOMS	0.09m2 (0.97FT2)
UNFINISHED BASEMENT SPACE	0.2% OF THE FLOOR AREA
DINING, LIVING, BEDROOMS, KITCHENS, COMBINED ROOMS, DENS, RECREATION ROOMS OR ALL OTHER FINISHED ROOMS	0.28m2 (3FT2)
<p>NOTE: IF A VESTIBLE OPENS DIRECTLY OFF A LIVING / DINING ROOM, VENTILATION TO THE OUTDOORS FOR THESE ROOMS MAY BE THROUGH THE VESTIBULE.</p>	



No.	DATE	DESCRIPTION	BY
PROJECT NAME: PROPOSED PROPERTY RENOVATION CONSTRUCTION 165 CARLTON ROAD MARKHAM, ON		DRAWING TITLE: DETAIL OF EGRESS WINDOW DATE: 7 OCT 2020 SCALE: - DRAWN BY: JY JOB NUMBER: - DRAWING NUMBER: A8 REV. 0	

TOPOGRAPHIC SURVEY OF
LOT 2
REGISTERED PLAN M-1838
CITY OF MARKHAM
(REGIONAL MUNICIPALITY OF YORK)

SCALE 1 : 200

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METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BENCHMARK NOTE

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED
TO BENCHMARK No. 647 HAVING AN ELEVATION OF 184.341 METRES.

LEGEND

MH	DENOTES	MANHOLE
CR	"	CENTERLINE ROAD
DS	"	DOOR SILL
GS	"	GARAGE SILL
HM	"	HYDRO METER
GM	"	GAS METER
CB	"	CATCH BASIN
AC	"	AIRCONDITIONING UNIT
WV	"	WATER VALVE
LS	"	LIGHT STANDARD
FH	"	FIRE HYDRANT
SWI	"	PAVED INTERLOCKING
SWW	"	STONE WALKWAY
RWW	"	WOODEN RETAINING WALL
RWS	"	STONE RETAINING WALL
ICV	"	IRRIGATION CONTROL VALVE
BF	"	BOARD FENCE
PIN	"	PROPERTY IDENTIFIER NUMBER
INST.	"	INSTRUMENT
Ø	"	DIAMETER
293.05	"	ELEVATION ON THE GROUND
⊙	"	DECIDIOUS TREE
✱	"	BUSH

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
THE FIELD OBSERVATIONS REPRESENTED ON THIS PLAN
WERE COMPLETED ON THE 3TH DAY OF FEBRUARY, 2021.

FEBRUARY 26, 2021
DATE

ALEX MARTON
ONTARIO LAND SURVEYOR

ALEX MARTON LIMITED
ONTARIO LAND SURVEYORS
160 APPLEWOOD CRESCENT, UNIT 8,
CONCORD, ONTARIO, L4K 4H2
PHONE: 905-879-9889 FAX: 905-879-0770
E-MAIL: alex@amsurveying.ca
WEBSITE: www.amsurveying.ca

PARTY CHIEF: F.V.W.	FILE NAME: 2021-041.DWG
DRAWN : F.V.W.	PLOT SCALE: 1:200
CHECKED : A.M.	PROJECT No. 2021-041

CAUTION

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE
USED FOR MORTGAGE OR TRANSACTION PURPOSES.

APPENDIX “C”

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/100/21

1. The variances apply only to the proposed development as long as it remains.
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as ‘Appendix B’ to this Staff Report and received by the City of Markham on July 21, 2022, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. That the owner submit, if required by the Chief Building Official, a third-party report prepared by an architect or professional engineer licensed in the Province of Ontario, to assess compliance of existing construction with the provisions of the Ontario Building Code, and in particular relating to the change of use from a dwelling containing a single suite to a dwelling containing more than one suite.

CONDITIONS PREPARED BY:

A handwritten signature in black ink, appearing to read 'Hussnain Mohammad', is written over a light gray rectangular background.

Hussnain Mohammad, Development Technician, Zoning and Special Projects