Memorandum to the City of Markham Committee of Adjustment

July 27, 2022

File: **A/068/22**
Address: **31 Christman Court – Markham, ON**
Applicant: **Allan Seychuk**
Agent: **David Small Designs (Julie Odanski)**
Hearing Date: **August 10, 2022**

The following comments are provided on behalf of the East District team. The applicant is requesting relief from the following "Residential One – (R1)" and "Open Space – (O)" zone requirements under By-law 1229, as amended, as they relate to a proposed two-storey detached dwelling. The variances requested are to permit:

a) **Amending By-law 99-90, Section 1.2 (iii):**
a maximum depth of 22.58 m (74.08 ft), whereas the by-law permits a maximum depth of 16.80 m (55.12 ft); and

b) **By-law 1229, Section 10.1:**
the construction of a single detached dwelling within an Open Space zone, whereas the by-law does not permit construction within an Open Space zone.

PROPERTY DESCRIPTION

31 Christman Court (the "Subject Property") is located on the south side of Christman Court, east of Main Street Markham South, north of the Rouge Valley, and west of Wooten Way South. The Subject Property is located within an established residential neighbourhood, comprised of low rise dwellings with examples of infill development along the street. Mature vegetation is a predominant characteristic of Christman Court.

The 2,155.19 m^2 (23,198.27 ft^2) Subject Property is developed with a one-storey detached dwelling, setback approximately 25.0 m (82.02 ft) from the front lot line. Most of the dwelling is located within the western half of the Subject Property, which is zoned Open Space. This portion of the Subject Property is also regulated by the Toronto and Region Conservation Authority (the "TRCA"), as it is within a valley corridor and Regulatory (Regional Storm) floodplain associated with the Rouge River Watershed. According to assessment records, the dwelling was constructed in 1966. The lot narrows from the rear (east) to the front (west), slopes downwards from west to east, and has an approximate depth of 80.0 m (262.47 ft). Mature trees exist in the front and rear yards.

PROPOSAL

The applicant is proposing to demolish the existing one-storey dwelling, and construct a new two-storey detached dwelling, partially within the "Open Space – (O)" zone. If approved, the dwelling would have a building depth of 22.58 m (74.08 ft).

OFFICIAL PLAN AND ZONING

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The Subject Property is designated "Residential Low Rise" and "Greenway" under the Official Plan. The "Residential Low Rise" designation provides for low rise housing forms including single detached dwellings. Infill development is required to meet the general intent and purpose of the Official Plan with respect to height, massing, and setbacks to

ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties, and properties along the street, while accommodating diverse building styles. Regard shall also be had for the retention of existing trees and vegetation, as well as the proposed width of garages and driveways.

The "Greenway" designation is intended to protect valley lands, stream corridors, sensitive groundwater features, landforms, woodlands, wetlands, and agricultural lands, while supporting agricultural activities, protection of wildlife habitat, passive recreation uses, natural heritage enhancement opportunities, and nature appreciation.

Zoning By-Law 1229, as amended

The Subject Property is split zoned "Residential One – (R1)" and "Open Space – (O)" under By-law 1229, as amended. While the Residential One zone permits one single detached dwelling per lot, the Open Space zone does not permit detached dwellings, and limits permitted uses under Section 10 of the By-law to the following:

> *"Public parks, fairgrounds, or conservation areas, including therein playing fields, playgrounds, tennis courts, bowling greens, swimming and wading pools, bathing stations, skating rinks curling rinks, refreshment rooms and any uses accessory an incidental to the foregoing uses on the same lot."*

The proposed development does not comply with the By-law requirement with respect to uses permitted within an Open Space zone.

Residential Infill Zoning By-law 99-90

The Subject Property is also subject to the Residential Infill Zoning By-law 99-90. The intent of the Infill By-law is to ensure the built form of new residential construction will maintain the character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, floor area ratio, height, and number of storeys. The proposed development does not comply with the Infill By-law requirements with respect to maximum building depth.

ZONING PRELIMINARY REVIEW (ZPR) UNDERTAKEN

The applicant has completed a ZPR on March 1, 2022 to confirm the variances required for the proposed development.

COMMENTS

The *Planning Act, R.S.O. 1990, c. P.13, as amended* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment (the "Committee"):

a) The variance must be minor in nature;
b) The variance must be desirable, in the opinion of the Committee, for the appropriate development or use of land, building or structure;
c) The general intent and purpose of the Zoning By-law must be maintained;
d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Building Depth

The applicant is requesting a maximum building depth of 22.58 m (74.08 ft), whereas the By-law permits a maximum building depth of 16.80 m (55.12 ft). This is an increase of 5.78 m (18.96 ft).

Building depth is measured based on the shortest distance between two lines, both parallel to the front lot line, one passing through the point on the dwelling which is the nearest and the other through the point on the dwelling which is the farthest from the front lot line.

The variance includes a front covered porch, which adds approximately 3.35 m (11.0 ft) to the building depth. Excluding the porch, the main component of the building has a depth of approximately 19.23 m (63.09 ft). The applicant is also proposing a second-storey, which has a smaller floorplate. The two-storey portion has an approximate depth of 10.82 m (35.50 ft) along the north side, and 12.68 m (41.60 ft) along the south side. In considering the depth of the Subject Property, the relationship of the proposed development with neighbouring properties, and the massing elements proposed, staff consider the requested variance to meet the four tests.

Construction of a Detached Dwelling within Open Space Zone

The applicant is requesting permission to construct a portion of the new single detached dwelling within the Open Space zone, whereas the By-law does not permit the construction of a single detached dwelling within the Open Space zone.

As stated earlier in this memorandum, Section 10 does not permit the construction of detached dwellings within the Open Space zone; however, staff also note that this section was amended in 1990 by By-law 162-90, and Council added the following provision that:

> *"Open Space (O) zone boundaries shall be deemed to follow the limit of development in relation to river valley systems under the jurisdiction of the Conservation Authority."*

Staff acknowledge that a significant portion of the existing dwelling is currently located within the Open Space zone, and that the applicant would be permitted to construct a second-storey within the limits of the current building footprint, provided the use is continued. Instead, the applicant is proposing to construct a new dwelling within the eastern half of the current Open Space zone boundary, partially outside of the existing dwelling's footprint.

The TRCA has determined that the proposed dwelling is within an appropriate limit of development that respects the slope and flood plain areas, and City staff are therefore satisfied that any impacts to the natural environment would be minimized. In any event of approval, City staff encourage the applicant to provide for further native plantings of the landscape and in the rear yard along the valley slope, which may be achieved through a future Conservation Permit process as cited in Condition 6 of Appendix "A". Subject to this condition, TRCA and City staff have no objections to the requested variance.

Tree Preservation and Compensation

Staff recommend that the tree related conditions be adopted by the Committee to ensure the applicant installs the appropriate tree protection in any event of approval. Staff also note that property owners are required to apply for and obtain a tree permit from the City for any proposed injury to, or removal of any trees with a diameter at breast height of 0.20 m (0.66 ft), or more. Following any approval of this minor variance application, further mitigation may be required to ensure sufficient tree protection zone(s) are provided to appropriately protect certain trees.

Toronto and Region Conservation Authority

The applicant has worked with the TRCA to determine an appropriate limit of development delineated by the sediment fence shown on the Site Plan (Appendix "B"). Accordingly, the TRCA has no objections to the minor variance application, provided that the applicant remits a fee for the review of this minor variance application, and that a conservation permit be obtained.

PUBLIC INPUT SUMMARY

No written submissions were received as of July 27, 2022. Additional information may be received after the writing of this report, and the Secretary-Treasurer will provide information on this at the meeting.

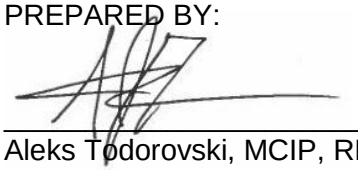
CONCLUSION

Planning staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, and in considering the TRCA's comments, staff have no objections to the requested variances. Should the Committee see merit in approving this application; staff offer the subsequent conditions of approval, and recommend that the Committee consider public input in reaching a decision. The onus is ultimately on the applicant to demonstrate how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

APPENDICES

Appendix "A" – Conditions of Approval
Appendix "B" – Plans

PREPARED BY:



Aleks Todorovski, MCIP, RPP
Planner, Zoning and Special Projects

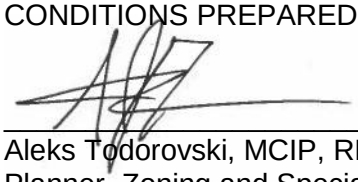
REVIEWED BY:

Stacia Muradali, MCIP, RPP
Development Manager, East District

APPENDIX "A"
CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/068/22

1. The variances apply only to the proposed development for as long as it remains.
2. That the variances apply only to the proposed development, in substantial conformity with the plans attached as Appendix "B" to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the Director of Planning and Urban Design, or their designate, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design, or their designate.
4. That tree replacements be provided and/or tree replacement fees be paid to the Director of Planning and Urban Design, or their designate, if required, in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design, or their designate.
5. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site, including street trees, in accordance with the City's Streetscape Manual (2009), as amended, and inspected by the Tree Preservation Technician, or their designate, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design, or their designate.
6. That the applicant obtain a Conservation Permit from the TRCA, and satisfy the requirements of the TRCA as indicated in their e-mail dated June 14, 2022, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the TRCA.

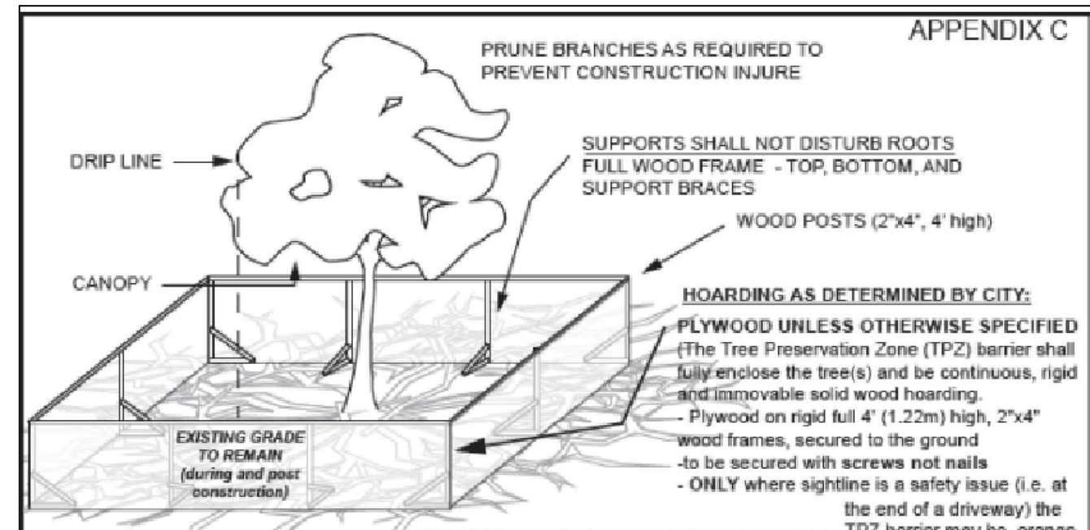
CONDITIONS PREPARED BY:



Aleks Todorovski, MCIP, RPP
Planner, Zoning and Special Projects

APPENDIX “B”
PLANS TO BE ATTACHED TO ANY APPROVAL OF FILE A/068/22

APPENDIX C



HOARDING AS DETERMINED BY CITY:
PLYWOOD UNLESS OTHERWISE SPECIFIED
(The Tree Preservation Zone (TPZ) barrier shall fully enclose the tree(s) and be continuous, rigid and immovable solid wood hoarding.
- Plywood on rigid full 4' (1.22m) high, 2"x4" wood frames, secured to the ground
-to be secured with **screws not nails**
- **ONLY** where sightline is a safety issue (i.e. at the end of a driveway) the TPZ barrier may be, orange safety fencing mounted on rigid full 4' (1.22m) high, 2"x4" wood frames, secured to the ground and installed with screws not nails)

UNDISTURBED ROOT ZONE:
CLEANLY CUT ANY EXPOSED ROOTS AND IMMEDIATELY BACKFILL TO MAINTAIN MOISTURE - SHALL BE DONE BY A QUALIFIED TREE WORKER CERTIFIED WITH THE INTERNATIONAL SOCIETY OF ARBORICULTURE APPROVED BY THE CITY.

MINIMUM DISTANCE FROM BASE OF TRUNK:

< 10cm DBH	1.2m
11-19cm DBH	1.8m
20-40cm DBH	2.4m
41-50cm DBH	3.0m
51-60cm DBH	3.6m
61-70cm DBH	4.2m
71-80cm DBH	4.8m
81-90cm DBH	5.4m
91-100cm DBH	6.0m
> 100cm DBH	6cm/1cmØ

(DIAMETER AT BREAT HEIGHT) DBH = TRUNK DIAMETER AT 1.4m HEIGHT
(SUM OF 3 LARGEST TRUNKS FOR MULTIPLE TRUNKS)

40cm x 60cm SIGN MOUNTED ON ALL SIDES OF BARRIER

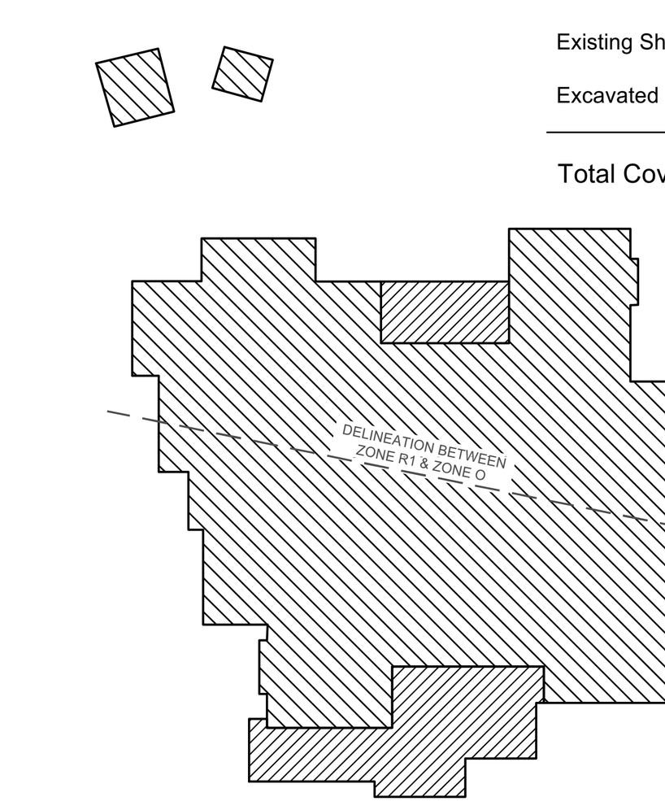
MARKHAM
TREE PROTECTION ZONE
• No grade change, storage or temporary storage of any materials or equipment, washing of equipment, nor the dumping of any debris is permitted within this area.
• The tree protection barrier must not be altered, moved or removed in any way without the written authorization of The City Of Markham.
Breach or removal of the Tree Protection Zone barrier is subject to a fine of up to $100,000.00
Report any Contraventions to
Contact Name______ Tel No.______

TREE PROTECTION NOTES:
1. ALL TREE PROTECTION BARRIERS SHALL BE IN PLACE AND APPROVED BY THE CITY PRIOR TO CONTRUCTION ACCESS.
2. ALL SUPPORTS AND STAKES SHALL BE OUTSIDE THE TREE PROTECTION ZONE AND SHALL MINIMIZE ROOT INJURY
3. TREE PROTECTION BARRIERS SHALL REMAIN IN PLACE AND IN GOOD CONDITION UNTIL ALL CONSTRUCTION IS COMPLETE AND APPROVED BY THE CITY TO BE REMOVED.
4. ALL ARBORICULTURE WORK SUCH AS PRUNING OF BRANCHES AND ROOTS, SHALL BE DONE BY A QUALIFIED TREE WORKER CERTIFIED WITH THE INTERNATIONAL SOCIETY OF ARBORICULTURE APPROVED BY THE CITY.

TREE PRESERVATION ZONE DETAILS

MARKHAM THE CORPORATION OF THE CITY OF MARKHAM	SCALE: N.T.S.	DATE: OCTOBER 2013	DRAWING NO: T-1

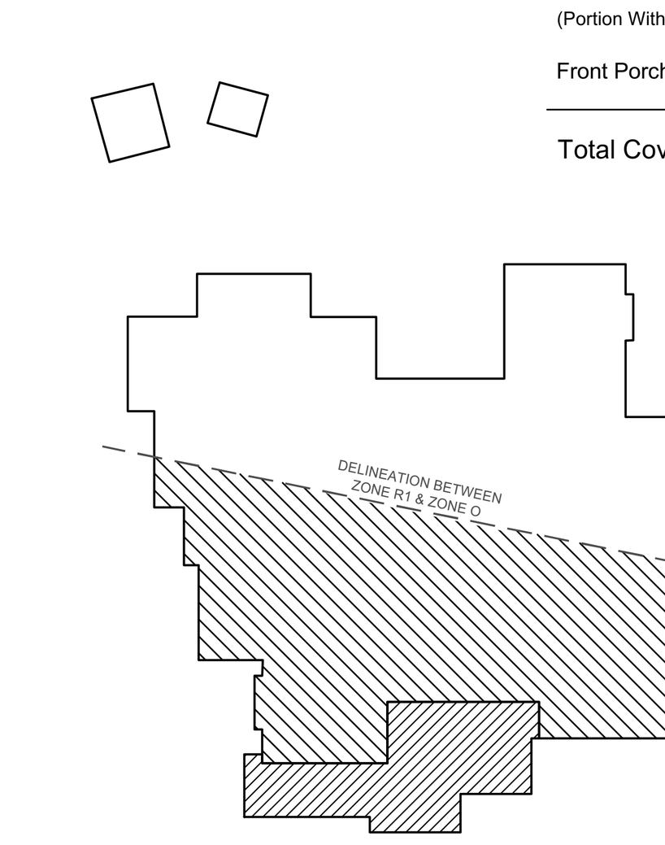
Lot Coverage Diagram - Total Lot (1:300)



Lot Coverage (of R1 Zone Only)

House Footprint	339.10 sm
Front Porch	38.64 sm
Existing Sheds	9.85 sm
Excavated Terrace	12.48 sm
Total Coverage	400.07 sm 18.56 %

Lot Coverage Diagram - R1 Zone (1:300)



Lot Coverage (of R1 Zone Only)

House Footprint (Portion Within R1 Zone)	170.96 sm
Front Porch	38.64 sm
Total Coverage	209.61 sm 32.44 %

Site Data

Total Lot Area	2,155.19 sm	(0.216 ha)
R1 Zone Area	657.93 sm	(0.066 ha)
Established Grade		R1 / O
Grade @ Crown of Street (Used to Determine Building Height)		175.30
Zoning		174.20
Floor Area		
Ground Floor (Includes 69.7 sf of Stairs)	277.47 sm	2986.8 sf
Second Floor (Includes 71.2 sf of Stairs, Excludes 371.1 sf of O.T.B)	157.87 sm	1699.4 sf
Total Area	435.35 sm	4686.2 sf
Garage (Measured to Exterior Face of Garage Walls)	61.61 sm	663.2 sf
Total Gross Floor Area (Net FAR = 0.36)	496.96 sm	5349.4 sf
Net FAR = min lot area + 1/2 difference between lot area & min lot area = 613.16sm + ((2155.19sm - 613.16sm) /2) = 1384.175sm		
Garage (Measured to Inside Face of Garage Walls)	55.12 sm	593.3 sf
Finished Basement (Measured to Inside Face of Finished Basement Walls)	227.79 sm	2452.0 sf
Landscaping		
Soft Landscape Area	40.00%	66.97 sm
Lot Coverage (Total Lot)		
Proposed Footprint (Including Garage)	15.76%	339.10 sm
Proposed Covered Front Porch	1.80%	38.64 sm
Existing Sheds (3.38sm + 6.47sm)	0.46%	9.85 sm
Total Proposed Coverage (total Lot)	18.01%	387.59 sm
Lot Coverage (R1 Zone Only)		
Proposed Footprint (Including Garage) (Portion Within R1 Zone)	26.46%	170.96 sm
Proposed Covered Front Porch	5.98%	38.64 sm
Total Proposed Coverage (R1 Zone)	32.44%	209.61 sm
Max Allowed Coverage (R1 Zone)	35.00%	230.28 sm

REPLACEMENT TREE SIZING

All replacement trees are to be native in species, a minimum 60mm caliper for deciduous trees and a minimum 1.80m high for coniferous trees.

REPLACEMENT TREE SPACING

All replacement trees should not be planted any closer than 1.5 meters to property lines. Spacing between new trees should be a minimum 5 meters, with 7 meters being ideal.

REPLACEMENT PLANTING PLAN

REPLACEMENT TREES	8 total
Hackberry	x 1
Sugar Maple	x2
Tulip Tree	x1
White Birch	x1
Ironwood	x1
Tamarack	x2

REPLACEMENT SHRUBS	10 total
Downy Serviceberry	x2
Maple-Leaf Viburnum	x2
Ninebark	x2
Common Elderberry	x2
Speckled Alder	x2

GROUND COVER
- Ontario Short Wet Meadow (TRCA-SW-5)
- Difficult Site Mix (TRCA-SC-1)

Notes:

Prior To Submitting A Building Permit Application, The Builder Shall Have Individual Siting Plans For Each Lot Approved By The Subdivider's Consulting Engineer, Which Comply With The Approved Subdivision Grading Plans And Composite Utility Plans. Siting Plans Shall Include As Constructed Sanitary And Storm Service Connection Invert Elevations At The Street Line For Each Lot.

Where Indicated On This Plan, Lots Which Abut The Subdivision Limit Shall Be Graded To Provide A Minimum 0.6 Metre Strip Of Undisturbed Land Adjacent To The Subdivision Limit. All Embankments Required For The Grading Of The Lots Shall Commence At The Inside Edge Of This Strip Of Land.

Drainage Swales Shall Be Constructed By The Builder On The Property Line And To The Grades, Depths And Sections Specified Herein:
Minimum Depth = 0.15. Maximum Depth = 0.50m
Minimum Gradient = 2.00%. Maximum Gradient = 5.00%
3:1 Maximum Side Slopes

All Embankments Formed During Lot Grading Shall Have A Maximum Five (5) Horizontal To One (1) Vertical Slope.

Driveways Shall Not Be Used As An Outlet For Any Side Yard Swales.

Driveways Shall Have A Gradient Between 2.00% To 8.00%.

Retaining Wall Designs Shall Be As Per Manufacturer's Specifications And Are To Be Stamped By The Structural Design Engineer. All Retaining Walls Are To Be Inspected By A Consulting Engineer During Construction And Certified Upon Completion Prior To Release Of Grading Deposit.

When A Separation Between Houses Is Less Than 3.0 Metres, Place 19mm Of Clear Stone To A Depth Of 100mm In Place Of Topsoil & Sod. A Positive Grade Away From The House At Subgrade Level Is Mandatory.

Underside Of Basement Floor Shall Be Min. 0.5m Above The 100 Year Hydraulic Grade Line.

Legend

Symbol	Description
3R ▶	Main Level Entrance/Exit
3R ▷	Lower Level Entrance/Exit
	Property Line
	Existing To Be Removed
x 102.05	Existing Spot Elevation
102.05 x	Proposed Spot Elevation
	Rainwater Downspouts
AC	Air Conditioner
	Solid Hoarding
	Framed Hoarding
	ESC Or Silt Fence Hoarding
AD	Area Drain
0.300C	Denotes Coniferous Tree (with trunk diameter) To Remain
0.300D	Denotes Deciduous Tree (with trunk diameter) To Remain
0.300C	Denotes Tree (with trunk diameter) To Be Removed
R# SPECIES	Denoted Replacement Tree (Species As Per Arborist Report) R# Denotes "Replacement Tree #
#	Denotes Tree Number Corresponding w/ Arborist Report

Base Information:

Base Information Taken From Plan Of Survey
BY: Mandarin Surveyors Ltd.
Dated: March 11, 2021

Location

Part 1: Plan of Lot 15
Registered Plan 7426
City of Markham
Regional Municipality of York

City Benchmark

Elevations Are Refereed To The City of Markham Benchmark No. 092903078, Having An Elevation of 175.13 Meters

*TFW (Top Of Foundation Wall)

Floor Sill Plate On Inside Face Of Foundation.
- See Reduced Thickened Foundation Wall Detail & Reverse Veneer Detail For Foundation Wall Ledge Condition On Outside Face Of Foundation Walls.
- Extent Of Each Type To Be Determined By Contractor On Site During Construction

**U/F (Under Side of Footing)

- U/F Denotes Minimum Depth Of Under Side of Footing.
- Under Side of Footing May Differ Depending On Basement Conditions. See Floor Plans And Elevations For Specific Under Side Of Footing Conditions .
- Footings To Be Min 1.2m Below Grade

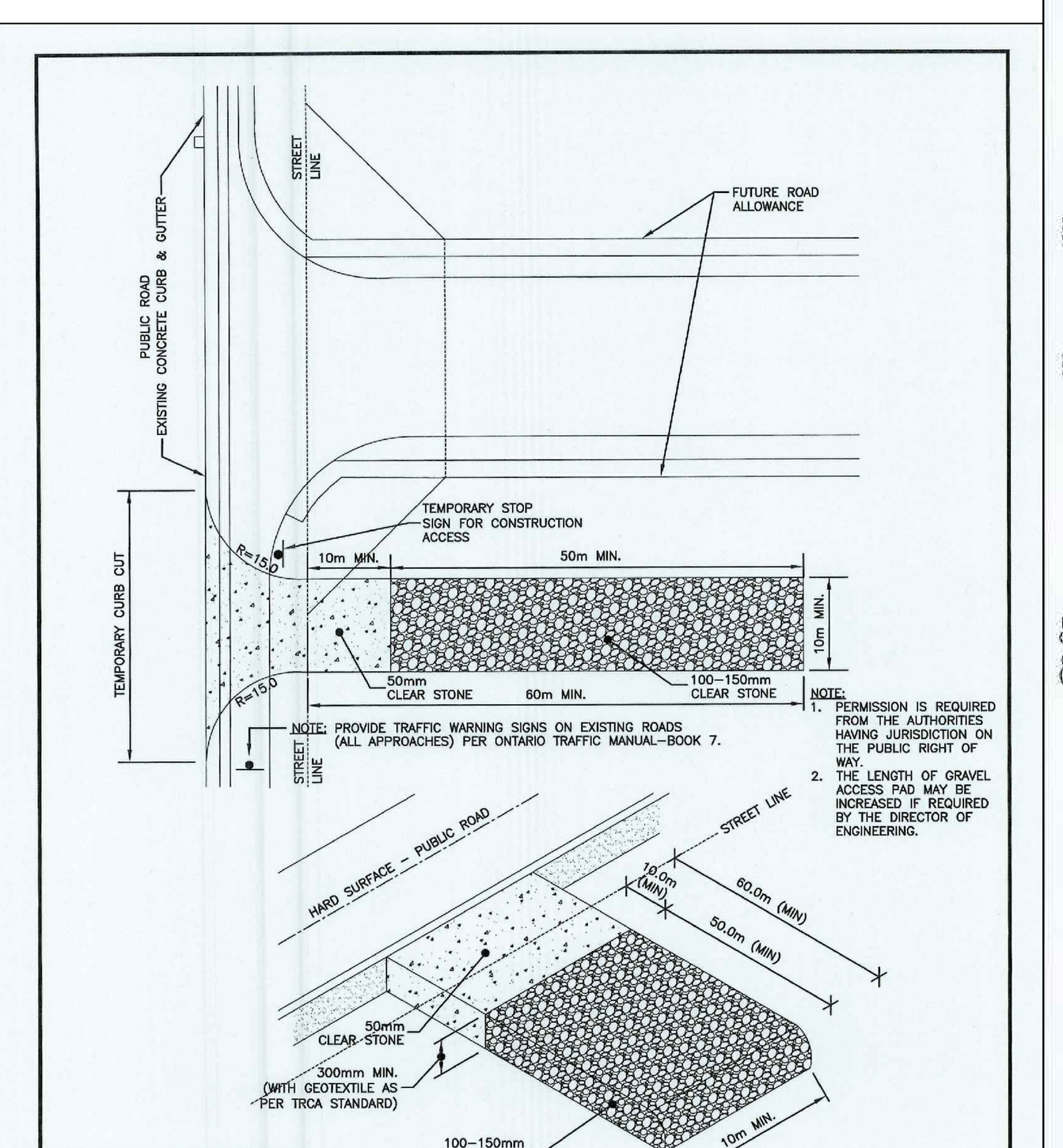
Notes:

Internal Sewage And Water Systems On Private Property Requires Plumbing Approval Under The Ontario Building Code, Application For The Necessary Permits Should Be Made To The Building Standards Department

Permit To Determine The Review, Certification, Permit Issuance And Inspection Process For The Proposed Pool To Be Obtained From Building Standards Department

General Notes:

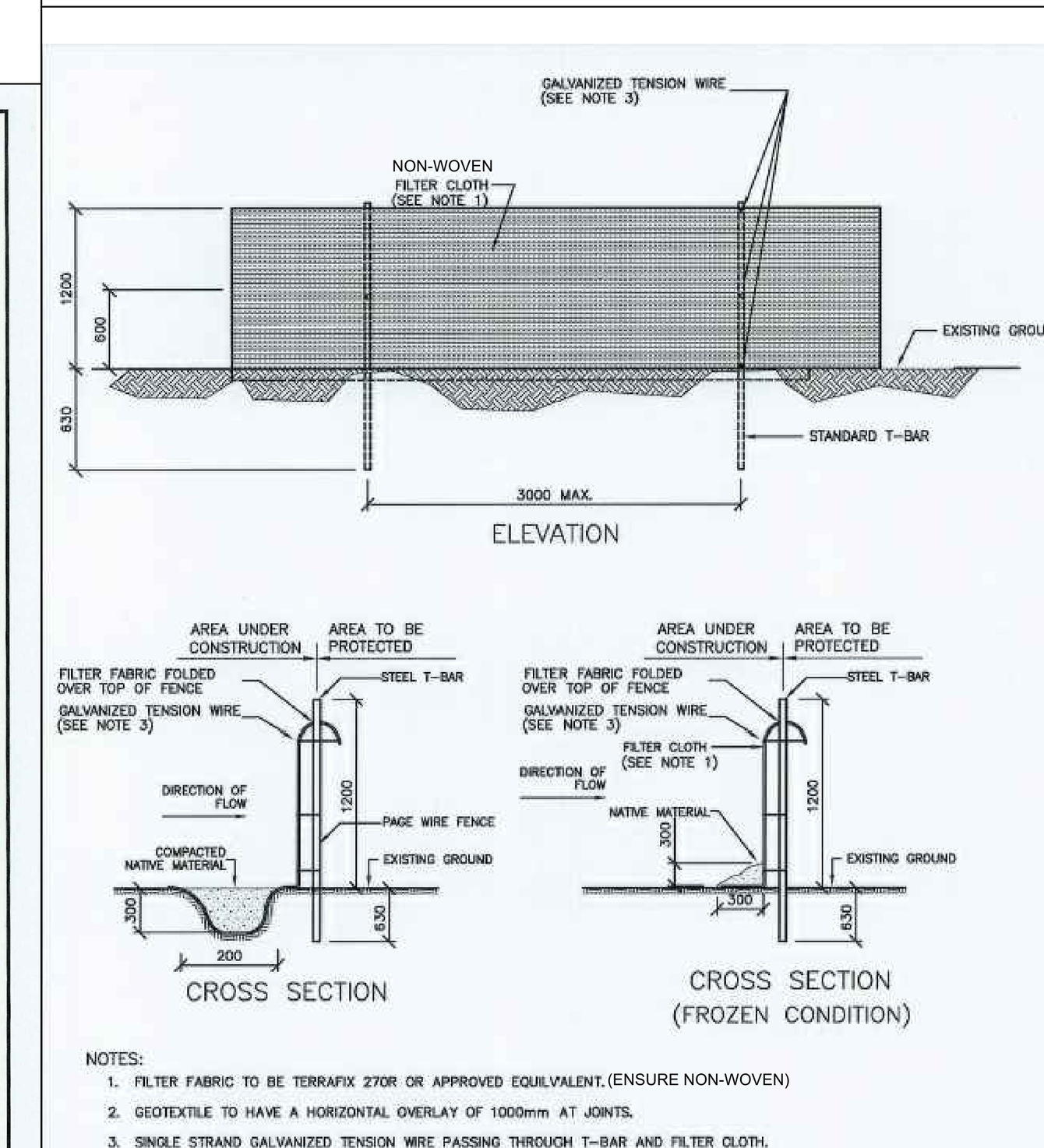
1. Do Not Scale Drawings
2. These Plans Are To Remain The Property Of The Designer And Must Be Returned Upon Request. These Plans Must Not Be Used In Any Other Location Without The Written Approval Of The Designer.
3. All Works To Be In Accordance With The Ontario Building Code And All Code References Refer To O.B.C. 2012 Division 'b'



NOTE:
1. PERMISSION IS REQUIRED FROM THE AUTHORITIES HAVING JURISDICTION ON THE PUBLIC RIGHT OF WAY.
2. THE LENGTH OF GRAVEL ACCESS PAD MAY BE INCREASED IF REQUIRED BY THE DIRECTOR OF ENGINEERING.

ALL DIMENSIONS ARE IN METRES OR METRES UNLESS OTHERWISE SHOWN

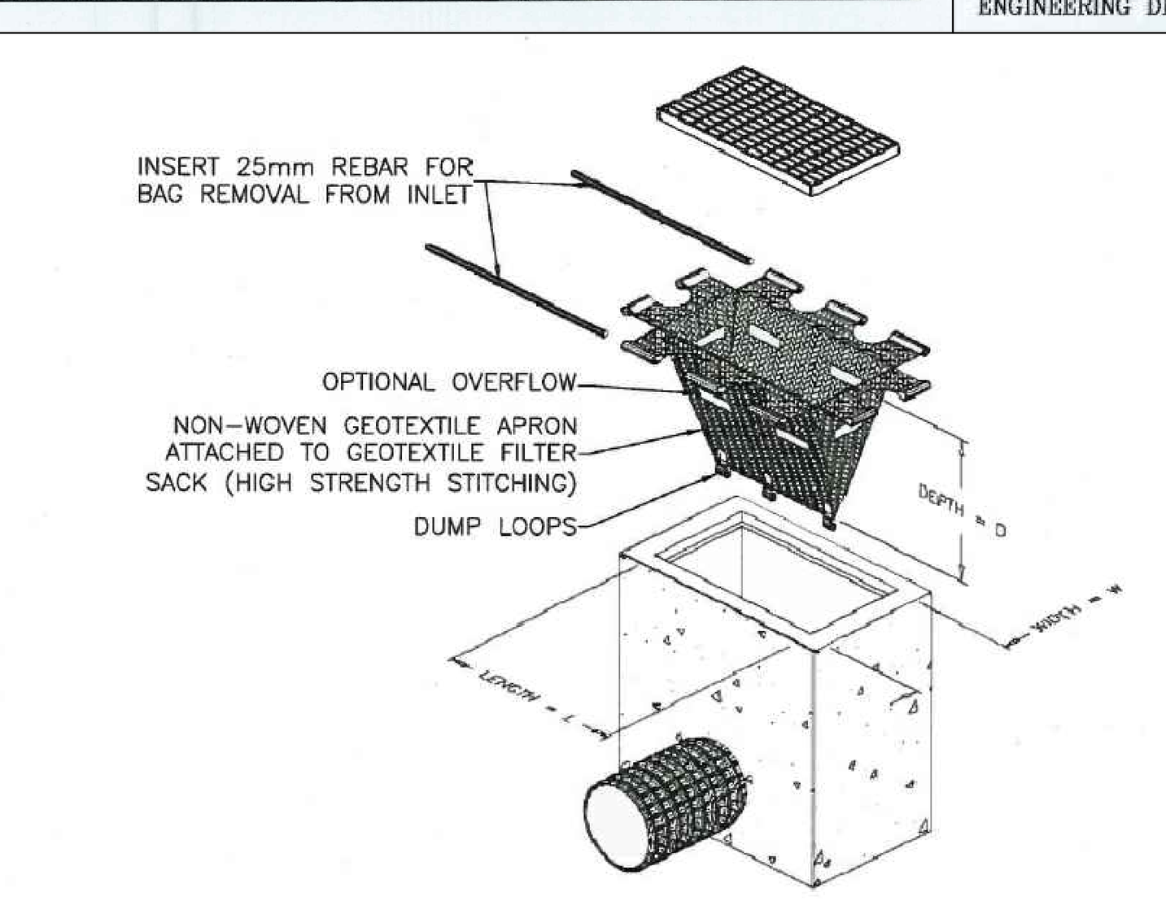
MARKHAM ENGINEERING DEPARTMENT	DRAWING NAME: TEMPORARY GRAVEL ACCESS PAD (MUD MAT)	SCALE: NTS REV: 0 DATE: SEPTEMBER 2010	APPROVED BY: DIRECTOR OF ENGINEERING DWG. NO. MP7



NOTES:
1. FILTER FABRIC TO BE TERRAFIX 270R OR APPROVED EQUILVALENT. (ENSURE NON-WOVEN)
2. GEOTEXTILE TO HAVE A HORIZONTAL OVERLAY OF 1000mm AT JOINTS.
3. SINGLE STRAND GALVANIZED TENSION WIRE PASSING THROUGH T-BAR AND FILTER CLOTH.
4. INCREASE OR DECREASE T-BAR SPACING ON SLOPES, AS APPROVED BY THE DIRECTOR OF ENGINEERING.
5. WOODEN POSTS TO BE USED AT LOW POINTS FOR LARGE CATCHMENT AREAS.

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN

MARKHAM ENGINEERING DEPARTMENT	DRAWING NAME: STANDARD SEDIMENT CONTROL FENCE	SCALE: NTS REV: 0 DATE: SEPTEMBER 2010	APPROVED BY: DIRECTOR OF ENGINEERING DWG. NO. MPII



NOTE:
1. FILTER FABRIC TO BE INSPECTED BI-WEEKLY AND REPLACED BY THE OWNER WHEN THE SILT BAG (OR SILT SACK) IS 50% FULL OF SEDIMENT.
2. THIS STANDARD SHOULD BE USED DURING ROAD CONSTRUCTION.
3. THE USE OF TERRAFIX SILT SACK IS REQUIRED. THE USE OF ANY EQUIVALENT PRODUCT IS SUBJECT TO APPROVAL BY THE DIRECTOR OF ENGINEERING.

MARKHAM ENGINEERING DEPARTMENT	DRAWING NAME: STREET CATCHBASIN SEDIMENT TRAP DETAIL	SCALE: NTS REV: 1. DATE: AUGUST 2012	APPROVED BY: DIRECTOR OF ENGINEERING DWG. NO. MP5

ESC Standard Notes:

1) Erosion And Sediment Control (ESC) Measures Will Be Implemented Prior To, And Maintained During The Construction Phases, To Prevent Entry Of Sediment Into The Water. All Damaged Erosion And Sediment Control Measures Should Be Repaired And/Or Replaced Within 48 Hours Or Sooner If Environmental Receptors Are At Imminent Risk And Foreseeable Risk Of Adverse Impact.

2) All In-Water And Near Water Works Will Be Conducted In The Dry With Appropriate Erosion And Sediment Controls.

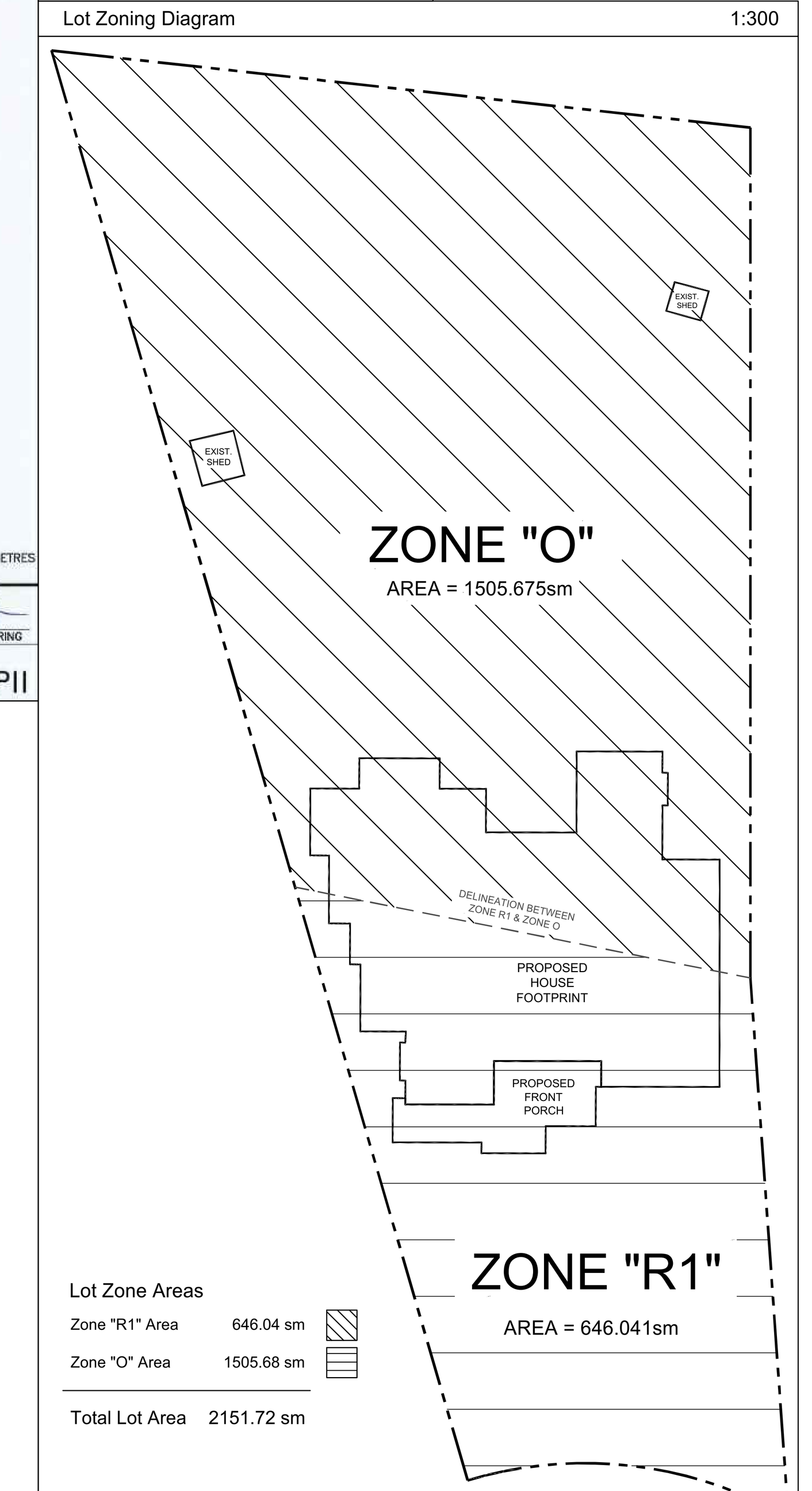
3) The Erosion And Sediment Control Strategies Outlined On The Plans Are Not Static And May Need To Be Upgraded/Amended As Site Conditions Change To Minimize Sediment Laden Runoff From Leaving The Work Areas. If The Prescribed Measures On The Plans Are Not Effective In Preventing The Release Of A Deleterious Substance, Including Sediment, Then Alternative Measures Must Be Implemented Immediately To Minimize Potential Ecological Impacts. TRCA Enforcement Officer Should Be Immediately Contacted. Additional ESC Measures To Be Kept On Site And Used As Necessary.

4) Inspection Of The Proposed Erosion And Sediment Control Measures Will Occur At The Frequency Defined in Section 10.1.2. Of The *Erosion And Sediment Control Guide For Urban Construction*.

5) Disturbed Areas Left For 30 Days Or Longer Must Be Stabilized.

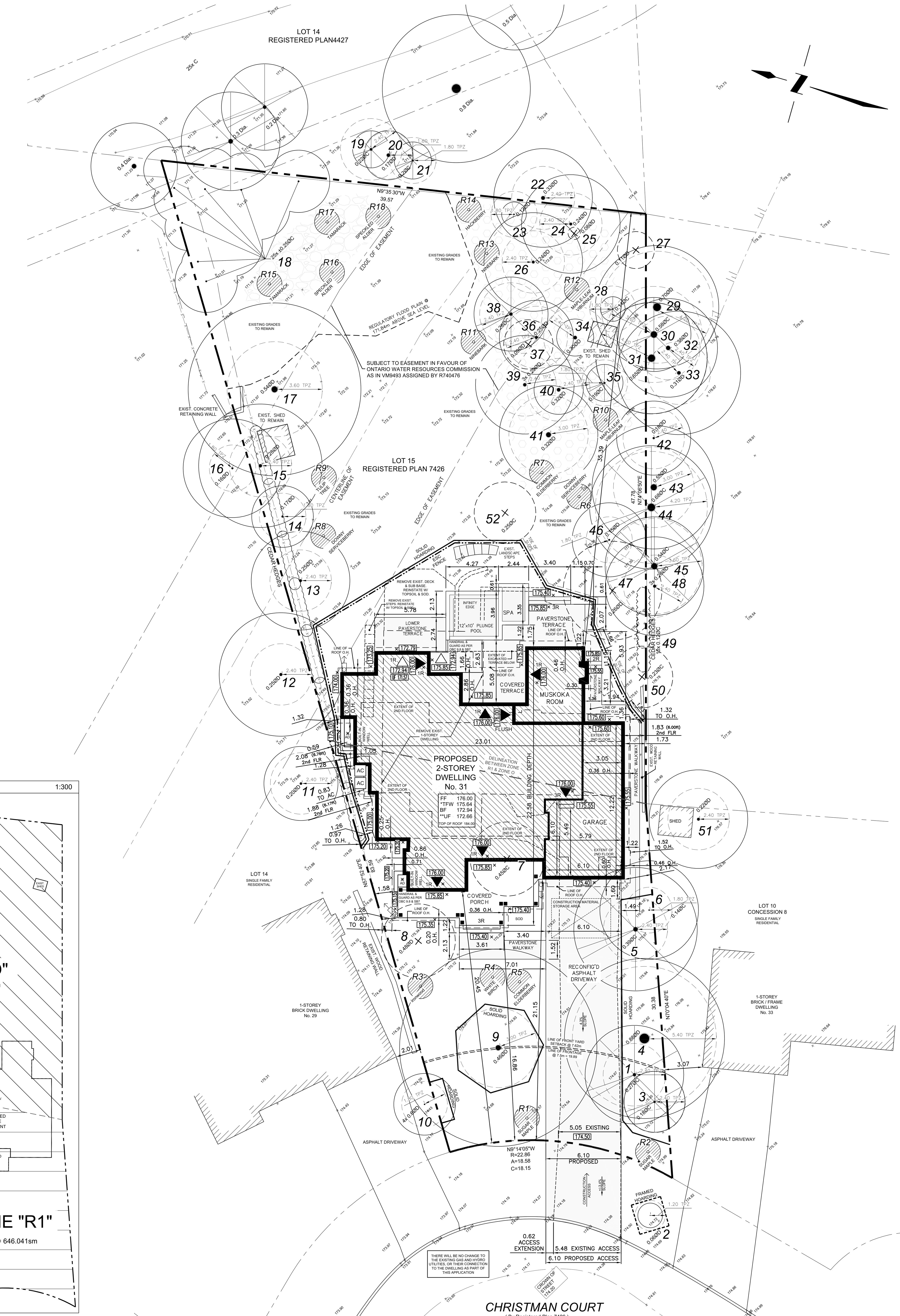
6) Temporary Sediment Conveyance Systems And Sediment Pond To Be Immediately Stabilized

Lot Zoning Diagram (1:300)



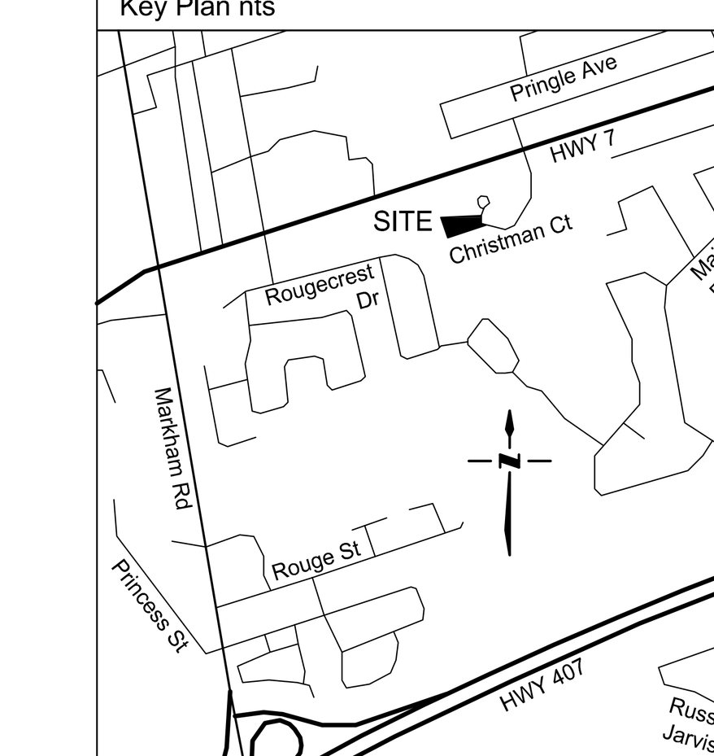
Lot Zone Areas

Zone "R1" Area	646.04 sm
Zone "O" Area	1505.68 sm
Total Lot Area	2151.72 sm



Appendix B
File: 22.116575.000.00.MNV
Date: 07/28/22 MM/DD/YY

Key Plan nts



The Undersigned Has Reviewed And Takes Responsibility For This Design, And Has The Qualifications And Meets The Requirements Set Out In The Ontario Building Code To Be A Designer.
Qualification Information Required Unless The Design Is Exempt Under Division C -3.2.5.1. Of the 2012 ONTARIO Building Code.

Name	Signature	BCIN
Peter Giordano		25061

Registration Information Required Unless The Design Is Exempt Under Division C -3.2.4.1. Of the 2012 ONTARIO Building Code.

Firm Name	BCIN
DAVID W. SMALL DESIGNS INC.	29999

no.	date	revision / comment
5	Mar 21/22	Revised Per Client Request
4	Feb 09/22	Revised Per Arborist Planting Plan
3	Feb 04/22	Revised Per TRCA & Zoning Comments
2	Jan 21/22	Revised Per Color Board/Material Adjustments
1	Dec 21/21	Issued To Owner For Zoning Approvals

Project:

The Seychuk-Chalmers Home
31 Christman Court
Lot 15
Registered Plan 7426
City of Markham,
Regional Municipality of York

Drawing:

Site Plan

Scale:	1:150
Date:	Dec 2021
Dwn by:	MM
Proj. no.:	21–1942

SP

David Small Designs

Appendix B
File: 22.116575.000.00.MNV
Date: 07/28/22
MM/DD/YY

Schedules

Wood Lintels / Beams

B1 2-2x8 B2 3-2x8 B3 4-2x8 Bolted B4 2-2x10 B5 3-2x10 B6 4-2x10 Bolted	B7 2-2x12 B8 3-2x12 B9 4-2x12 Bolted B10 1-7.25" LVL B11 2-7.25" LVL B12 3-7.25" LVL	B13 1-9.5" LVL B14 2-9.5" LVL B15 3-9.5" LVL B16 1-11.88" LVL B17 2-11.88" LVL B18 3-11.88" LVL	B19 1-14" LVL B20 2-14" LVL B21 3-14" LVL B22 1-16" LVL B23 2-16" LVL B24 3-16" LVL	Note: where solid (1) piece lumber shown - do not substitute multiple ply

Note:
1). Engineered wood beams to be min. 2.0e or equal and 1-3/4" in width. Nailing pattern see S1.
2). 'SDS' = Simpson Strong-Tie Strong-Drive heavy-duty connector screws. Refer to manuf. specs. for exact details (see typ. detail screw patterns)

Columns / Posts

P2 2-2x6 P3 3-2x6	P4 4-2x6 P5 5-2x6	P6 3-2x4 P7 4-2x4	P8 5-2x4 P9 4x4	P10 6x6 P11 3-2x8	P12 4-2x8

C1 HSS 3.5"x3.5"x0.25" - Brg. Plate 6"x 5/8"x 10" + (2) 5/8" Dia. A.B
C2 HSS 4"x4"x0.312" - Brg. Plate 10"x 3/4"x 10" + (2) 3/4" Dia. A.B
C3 HSS 5"x3" x 0.375" - Brg. Plate 11"x 3/4"x 11" + (2) 3/4" Dia. A.B
C4 HSS 5"x5" x 0.375" - Brg. Plate 11"x 1"x 11" + (2) 3/4" Dia. A.B
S1 W10x49 Exposed steel post/beam
S2 W12x40 Exposed steel post/beam

12" 3"
Typical anchor bolt

Steel Lintels

L1 3.5" x 3.5" x 1/4" L2 5" x 3.5" x 1/4"	L3 5" x 3.5" x 5/16" L4 5" x 3.5" x 3/8"	L5 6" x 4" x 3/8" L6 7" x 4" x 1/2"

Steel Plates

WP1 = 6"x 5/8"x 10" + (2) 5/8" Diameter Anchor Bolts
WP2 = 6"x 7/8"x 14" + (2) 3/4" Diameter Anchor Bolts
WP3 = 11" x 1" x 11" + (2) 3/4" Diameter Anchor Bolts

12" 2"

All Structural Steel to Conform To G40.21-350W

Concrete Footings

BEW = Bottom Bars Each Way

F1 24" x 24" x 12" Deep F2 30" x 30" x 14" Deep F3 36" x 36" x 16" Deep	F4 42" x 42" x 16" Deep c/w 5-15M BEW F5 48" x 48" x 16" Deep c/w 5-15M BEW F6 54" x 54" x 18" Deep c/w 7-15M BEW F7 60" x 60" x 18" Deep c/w 7-15M BEW F8 66" x 66" x 20" Deep c/w 9-15M BEW

> Strip footings below load bearing walls to have a min. 6" projection minimum 8" in depth + 2-15m bottom continuous
> All footings to bear on undisturbed soil, rock or engineered fill certified by soils engineer
> Min. soil bearing capacity = SLS 120 Kpa (2500 Psf) and to be verified by soils engineer prior to pouring footings

Refer to Sheet S1 for General Structural Notes

Project Notes:

- Stair to be built as one-piece unit as drawn and fastened to adjacent wall and floor headers for support
- Typical Porch Slab (Slab on Grade Condition)

6" R.C. slab on grade c/w 1-layer 6x6x6 welded wire mesh placed 2" down from top of slab over 6" granular 'a' or equal gravel on soil compacted to 98% standard proctor max. Dry density on undistured soil or engineered fill- note: if space below is changed to become excavated, the slab & wall requirement will require additional reinforcing

- All exposed floors to have floor joists above full w/ 2lb. closed cell spray foam insul'n min. R31
- Flat roofs to have 2-ply torched on rubber membrane roof w/ 2% slope to edge on 1/2" plywood roof sheathing on roof trusses/joists
- Direct vent gas fireplace unit to comply with CAN/ULC-S610-M "Factory built fire places" installed with exhaust as per manufactures specifications
- Provide 15M hook bars @ 15" o.c. top bars along slab bearing
- Provide 15M dowels @ 15" o.c. typical along slab bearing

36" UNO
24" UNO
24" UNO

General Notes:

1. Do not scale drawings

2. These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.

3. All works to be in accordance with the ontario building code and all code references refer to OBC 2012 division 'B'

4. Contractor to check all dimensions, specifications, etc. on site and shall be responsible for reporting any discrepancy to the engineer and/ or designer.

5. Structural engineer to be notified prior to pouring of concrete to inspect re-bar set-up during construction - engineer will not certify walls or footing/slabs unless prior inspection is conducted - it is the responsibility of the contractor to notify the project engineer and make all arrangements.

6. All wood framed window openings that exceed 48" wide are to have 2/2"x6" plates @ bottom of opening (typical.) U.N.O.

7. Adjustments or changes made to the floor layout roof truss layout, beams, lentils & point loads or required load bearing walls must be identified prior to construction and David W. Small Designs Inc. and project engineer must be notified for further review and approval.

8. All shop drawings for precast units to be submitted for field review by site inspector prior to manufacturing and installation

9. 'SDS' = Simpson Stuttering Strong-Drive Heavy-Duty Connector Screws. Refer to manful. specs. For exact details (see S1 for screw patterns)

10. Typical Wall Stud Construction

- Typical exterior walls to be 2x6 spf #2 @ 16" o/c. (up to 13' high)
- All 14' & 16' high exterior walls to be 2/2x6 spf #2 @ 12" o/c.
- Typical interior walls to be 2x6 spf #2 @ 16" o/c. (up to 13' high)
- All 14' & 16' high interior walls to be 2/2x6 spf #2 @ 12" o/c.
- All 10' high interior basement walls to be 2x6 spf #2 @ 16" o/c.

11. Where load bearing walls are not finished with drywall or a suitable interior finish, then blocking or strapping shall be fastened to the stud at mid-height as per OBC. 9.23.10.2.(2)(5)

12. 5/8" subfloor sheathing to be screwed and glued to all TJI joists on all floors

13. Typical Non Load Bearing Partition

2x4 studs @16" o/c c/w double top & single bottom plate provide 1/2" drywall b/s

14. Typical Bathroom Reinforcement

Stud reinforcement required as per OBC. 9.5.2.3 in all bathrooms

15. All rigid or spray foam exposed interior insulation to be covered w/ taped and 'mudded' drywall

16. Specific location of hydro meter to be established by local utility on exterior of the house

17. All electrical panels & components to comply with OBC. 9.34. & specific requirements of the local utility supplier

18. Protection From Dampness

All wood framing members that are not pressure treated & which are supported on concrete in contact with ground or fill shall be separated from the concrete. by min. 5mil polyethylene or type 's' roll roofing as per OBC 9.23.2.3.(1) & (2)

19. Typical Wood Posts

All wood post shown to be 'P3' U.N.O.

20. Floor drains to be located in every mechanical room, lower terrace, window well and laundry room.

21. All windows and glass doors less than 24" above finished floor are recommended to be tempered glass.

22. All steel beams to bear on column cap plate. No side header connections allowed. Refer to detail 7/S1.

23. Structural steel shop drawing review to be done by builder. Builder to site confirm dimensions as per steel shop drawings prepared by steel supplier.

General Basement Notes:

1. Typical Poured Concrete Basement Floor

3" concrete slab c/w 6 mil poly vapor barrier on granular fill

2. Typical 2x6 Interior Load Bearing Wall

2x6 stud wall (@ 16" o.c.) on 10 mil poly moisture barrier on 6" concrete curb (anchored w/ 1/2" a.b. @ 4'-0" o.c.) on 18" x 8" deep poured concrete footing. + 2-15m bars bottom continuous

3. Typical Basement Wall Strapping with Insulation

1/2" drywall on 6 mil poly v.b. on full ht. 2x4 studs @ 16" o/c strapping c/w min. R12 batt insul'n + R10ci or min. R20ci (typ. for entire perimeter of new basement.)

4. Provide minimum 4" bearing ledge for structural slab support

5. Typical Poured Concrete Perimeter Garage Foundation Walls

Reinforced 14" concrete block foundation wall on 26" wide x 8" deep concrete footing (Typ. U.N.O.)

6. Typical Reinforced Poured Concrete Foundation Walls

Reinforced 10" concrete block foundation wall on 22" wide x 8" deep concrete footing (Typ. U.N.O.)

7. Ensure soil backfilling on unexcavated spaces is done balanced placing soil equally on both sides to avoid collapse

8. Foundation drainage layer to comply with Ont. Reg. 332/12 and subsection 9.14.2. And 9.14.4.

9. Typical Cold Room Notes

Vent cold room per OBC 9.32.2.1 & 9.32.2.2 (0.2% floor area w/ rust proof insect screen). Cold room door to be metal insulated door with weather stripping

10. At least one smoke alarm shall be installed on or near the ceiling on each floor and basement levels as per OBC 9.10.19 and also in each sleeping room with a visual signaling component as per OBC 9.10.19.1 (2)(3)(4). Smoke alarms and co. Alarms shall be interconnected. A carbon monoxide alarm shall be installed adjacent to every sleeping area for dwellings with fuel burning appliances, or an attached garage.

11. Typical Interior Door Heights

If ceiling height is 10'-0" or greater than interior doors to be 8'-0" tall
If ceiling height is 9'-0" - 10'-0" than interior doors to be 7'-6" tall
If ceiling height is less than 9'-0" than interior doors to be 6'-8" tall

12. Typical Mechanical Ventilation

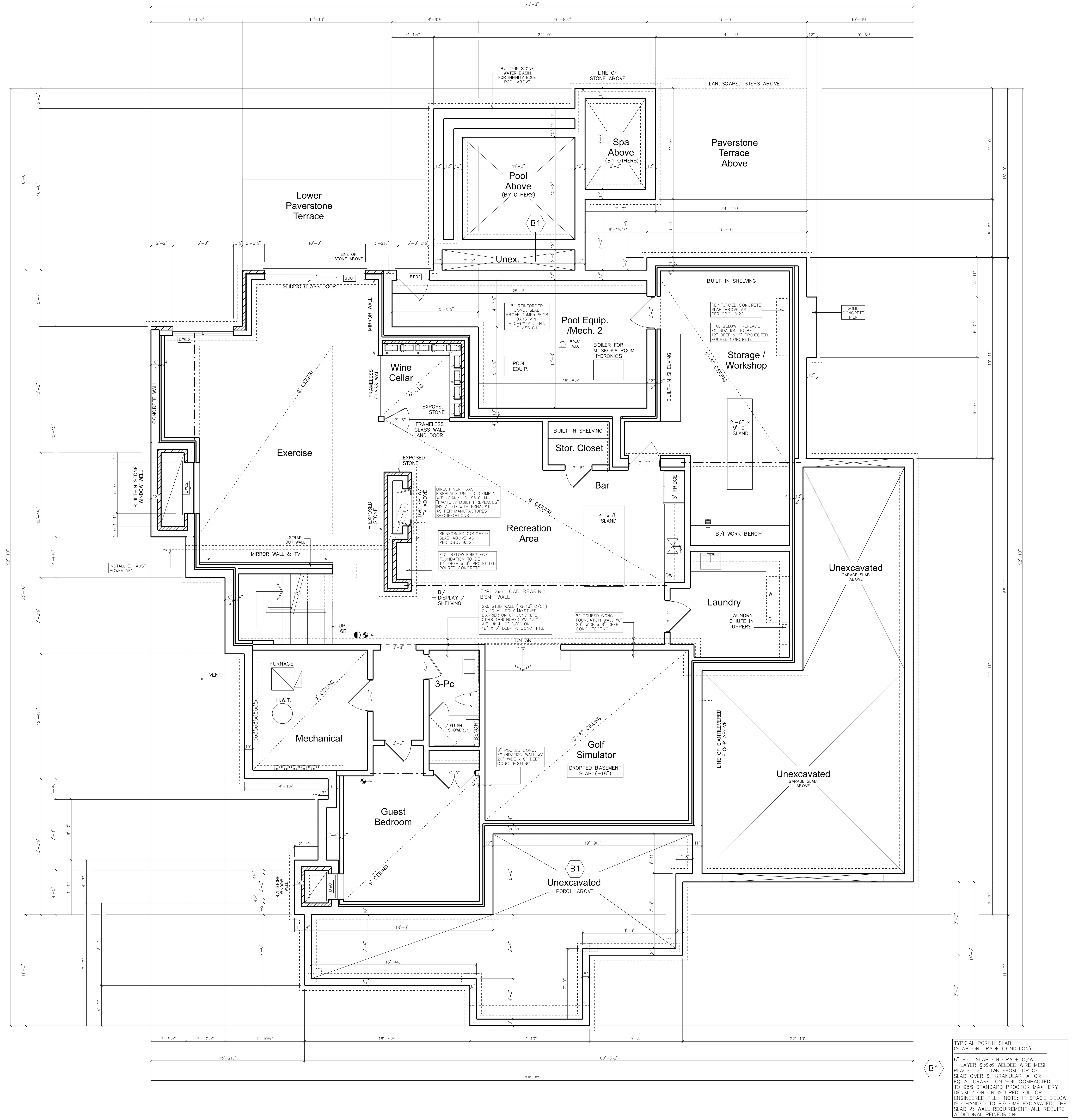
A principal dwelling exhaust fan shall be installed and controlled by a centrally located switch identified as such. Every bathroom, powder room and laundry room shall be equipped with a mechanical exhaust fan and vent.

13. Typical Railing & Guard Heights

An interior handrail & guard shall be @ 36" a.f.f. per OBC 9.8 & sb7
An exterior handrail & guard shall be @ 36" (if less than a max. of 6'-0" drop) per OBC 9.8 & sb7
An exterior handrail & guard shall be @ 42" (if greater than 6'-0" drop) a.f.f. per OBC 9.8 & sb7 insulated door with weather stripping

14. Window wells to be precast unit interlocking retaining wall - drain to storm (Typ.)

15. Floor drains to be located in every mechanical room, lower terrace, window well and laundry room.



TYPICAL CEILING HEIGHT 8'-0" U.N.O

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the ontario building code to be a designer.
Qualification information required unless the design is exempt under Division C - 3.2.5.1. of the 2012 ontario building code.

Peter Giordano	[signature]	25061
Name	Signature	BCIN

Registration information required unless the design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code.

David W. Small Designs Inc.	29999
Firm Name	BCIN

Opening Legend

Sliding Door
Pocket Door
Archway
Swing Door
Glass Wall & Door
Surface Sliding Door

Drawing Legend

Joist direction
Post above
Floor drain
20"X28" Attic access hatch
Interconnected smoke alarm w/ visual indicator
Typical 'P3' post UNO
CO Alarm

Wall area	= 557.2 sm
Window area	= 92.6 sm
** Ratio	= 16.62%
Window/Sliding Glass Door Efficiency	= 1.6**
Skylight/Glazed Roofs Efficiency	= U-2.8

Ceiling w/ Attic Space - R60 Ceiling w/o Attic Space - R31 Exposed Floors - R31 Walls Above Grade - R22 Basement Walls - R20ci *Refer to EEDS form for all other efficiency values	Energy efficiency compliance standard SB-12 3.1.1. Table 3.1.1.2.A (IP) pkg. "A1"

no.	date	revision / comment
3	Mar 21/22	Client Requested Revisions
2	Mar 02/22	Revised per Window & Door Schedule
1	Dec 16/21	Issued To Owner For Zoning Approvals

Project:

The Seychuk-Chalmers Home
31 Christman Court

Lot 15
Registered Plan 7426
City of Markham,
Regional Municipality of York

Drawing:

Basement Floor Plan

Scale: 1/4"=1'-0"
Date: Dec 2021
Dwn by: HM
Proj. no.: 21-1942

A1

David Small Designs

Appendix B

Schedules

Wood Lintels / Beams

B1 2-2x8	B7 2-2x12	B13 1-9.5" LVL	B19 1-14" LVL	Note: where solid (1) piece lumber shown - do not substitute multiple ply
B2 3-2x8	B8 3-2x12	B14 2-9.5" LVL	B20 2-14" LVL	
B3 4-2x8 Bolted	B9 4-2x12 Bolted	B15 3-9.5" LVL	B21 3-14" LVL	
B4 2-2x10	B10 1-7.25" LVL	B16 1-11.88" LVL	B22 1-16" LVL	
B5 3-2x10	B11 2-7.25" LVL	B17 2-11.88" LVL	B23 2-16" LVL	
B6 4-2x10 Bolted	B12 3-7.25" LVL	B18 3-11.88" LVL	B24 3-16" LVL	

Note:
1). Engineered wood beams to be min. 2.0e or equal and 1-3/4" in width. Nailing pattern see S1.
2). 'SDS' = Simpson Strong-Tie Strong-Drive heavy-duty connector screws. Refer to manuf. specs. for exact details (see typ. detail screw patterns)

Columns / Posts

P2 2-2x6	P4 4-2x6	P6 3-2x4	P8 5-2x4	P10 6x6	P12 4-2x8
P3 3-2x6	P5 5-2x6	P7 4-2x4	P9 4x4	P11 3-2x8	

C1 HSS 3.5"x3.5"x0.25" - Brg. Plate 6"x 5/8"x 10" + (2) 5/8" Dia. A.B
C2 HSS 4"x4"x0.312" - Brg. Plate 10"x 3/4"x 10" + (2) 3/4" Dia. A.B
C3 HSS 5"x3"x 0.375" - Brg. Plate 11"x 3/4"x 11" + (2) 3/4" Dia. A.B
C4 HSS 5"x5"x 0.375" - Brg. Plate 11"x 1"x 11" + (2) 3/4" Dia. A.B
S1 W10x49 Exposed steel post/beam
S2 W12x40 Exposed steel post/beam

12" / 3" — Typical anchor bolt

Steel Lintels

L1 3.5" x 3.5" x 1/4"	L3 5" x 3.5" x 5/16"	L5 6" x 4" x 3/8"
L2 5" x 3.5" x 1/4"	L4 5" x 3.5" x 3/8"	L6 7" x 4" x 1/2"

Steel Plates

WP1 = 6"x 5/8"x 10" + (2) 5/8" Diameter Anchor Bolts
WP2 = 6"x 7/8"x 14" + (2) 3/4" Diameter Anchor Bolts
WP3 = 11" x 1" x 11" + (2) 3/4" Diameter Anchor Bolts

12" / 2"

All Structural Steel to Conform To G40.21-350W

Concrete Footings

BEW = Bottom Bars Each Way

F1 24" x 24" x 12" Deep	F4 42" x 42" x 16" Deep c/w 5-15M BEW
F2 30" x 30" x 14" Deep	F5 48" x 48" x 16" Deep c/w 5-15M BEW
F3 36" x 36" x 16" Deep	F6 54" x 54" x 18" Deep c/w 7-15M BEW
	F7 60" x 60" x 18" Deep c/w 7-15M BEW
	F8 66" x 66" x 20" Deep c/w 9-15M BEW

> Strip footings below load bearing walls to have a min. 6" projection minimum 8" in depth + 2-15m bottom continuous
> All footings to bear on undisturbed soil, rock or engineered fill certified by soils engineer
> Min. soil bearing capacity = SLS 120 Kpa (2500 Psf) and to be verified by soils engineer prior to pouring footings

Refer to Sheet S1 for General Structural Notes

General Notes:

1. Do not scale drawings

2. These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.

3. All works to be in accordance with the ontario building code and all code references refer to OBC 2012 division 'B'

4. Contractor to check all dimensions, specifications, etc. on site and shall be responsible for reporting any discrepancy to the engineer and/ or designer.

5. Structural engineer to be notified prior to pouring of concrete to inspect re-bar set-up during construction - engineer will not certify walls or footing/slabs unless prior inspection is conducted - it is the responsibility of the contractor to notify the project engineer and make all arrangements.

6. All wood framed window openings that exceed 48" wide are to have 2/2"x6" plates @ bottom of opening (typical.) U.N.O.

7. Adjustments or changes made to the floor layout roof truss layout, beams, lentils & point loads or required load bearing walls must be identified prior to construction and David W. Small Designs Inc. and project engineer must be notified for further review and approval.

8. All shop drawings for precast units to be submitted for field review by site inspector prior to manufacturing and installation

9. 'SDS' = Simpson Stuttering Strong-Drive Heavy-Duty Connector Screws. Refer to manful. specs. For exact details (see S1 for screw patterns)

10. Typical Wall Stud Construction

- Typical exterior walls to be 2x6 spf #2 @ 16" o/c. (up to 13' high)
- All 14' & 16' high exterior walls to be 2/2x6 spf #2 @ 12" o/c.
- Typical interior walls to be 2x6 spf #2 @ 16" o/c. (up to 13' high)
- All 14' & 16' high interior walls to be 2/2x6 spf #2 @ 12" o/c.
- All 10' high interior basement walls to be 2x6 spf #2 @ 16" o/c.

11. Where load bearing walls are not finished with drywall or a suitable interior finish, then blocking or strapping shall be fastened to the stud at mid-height as per OBC. 9.23.10.2.(2)(5)

12. 5/8" subfloor sheathing to be screwed and glued to all TJI joists on all floors

13. Typical Non Load Bearing Partition

2x4 studs @16" o/c c/w double top & single bottom plate provide 1/2" drywall b/s

14. Typical Bathroom Reinforcement

Stud reinforcement required as per OBC. 9.5.2.3 in all bathrooms

15. All rigid or spray foam exposed interior insulation to be covered w/ taped and 'mudded' drywall

16. Specific location of hydro meter to be established by local utility on exterior of the house

17. All electrical panels & components to comply with OBC. 9.34. & specific requirements of the local utility supplier

18. Protection From Dampness

All wood framing members that are not pressure treated & which are supported on concrete in contact with ground or fill shall be separated from the concrete. by min. 5mil polyethylene or type 's' roll roofing as per OBC 9.23.2.3.(1) & (2)

19. Typical Wood Posts

All wood post shown to be 'P3' U.N.O.

20. Floor drains to be located in every mechanical room, lower terrace, window well and laundry room.

21. All windows and glass doors less than 24" above finished floor are recommended to be tempered glass.

22. All steel beams to bear on column cap plate. No side header connections allowed. Refer to detail 7/S1.

23. Structural steel shop drawing review to be done by builder. Builder to site confirm dimensions as per steel shop drawings prepared by steel supplier.

General Ground Floor Notes:

1. At least one smoke alarm shall be installed on or near the ceiling on each floor and basement levels as per OBC 9.10.19 and also in each sleeping room with a visual signaling component as per OBC. 9.10.19.1 (2)(3)(4). Smoke alarms and co. Alarms shall be interconnected. A carbon monoxide alarm shall be installed adjacent to every sleeping area for dwellings with fuel burning appliances, or an attached garage.

2. Typical Interior Door Heights

If ceiling height is 10'-0" or greater than interior doors to be 8'-0" tall
If ceiling height is 9'-0" - 10'-0" than interior doors to be 7'-6" tall
If ceiling height is less than 9'-0" than interior doors to be 6'-8" tall

3. Typical Mechanical Ventilation

A principal dwelling exhaust fan shall be installed and controlled by a centrally located switch identified as such. Every bathroom, powder room and laundry room shall be equipped with a mechanical exhaust fan and vent.

4. Typical Railing & Guard Heights

An interior handrail & guard shall be @ 36" a.f.f. per OBC 9.8 & sb7
An exterior handrail & guard shall be @ 36" (if less than a max. Of 6'-0" drop) per OBC 9.8 & sb7
An exterior handrail & guard shall be @ 42" (if greater than 6'-0" drop) a.f.f. per OBC 9.8 & sb7

5. Floor drains to be located in every mechanical room, lower terrace, window well and laundry room.

General Garage Notes:

1. Garage slab to be 5" concrete slab on 6" clean granular fill 32 mpa - 5-8% air entr. c/w 6"x6"x3/16" w.w.m. opt. Class C1

2. Remove all top soil from top layer

3. Insulate all 'warm' garage walls with min. R22 batt insulation

4. Interior garage wall to be 1/2" drywall on gasproofed 2x6 studs @ 16" c/w R22 batt insul'n with 6 mil. poly vapour barrier covered with 1/2" drywall

5. Garage ceiling to be 'gasproofed' ceiling with taped drywall and min. R31 insulation in floors above or R22 in walls

6. Interior garage door to be weather-stripped gasproof door w/ self-closer

7. Garage slab to be sloped to exterior a minimum of 4"

8. Drop foundation wall for garage door above

Project Notes:

- Stair to be built as one-piece unit as drawn and fastened to adjacent wall and floor headers for support

- Typical Porch Slab (Slab on Grade Condition)

6" R.C. slab on grade c/w 1-layer 6x6x6 welded wire mesh placed 2" down from top of slab over 6" granular 'a' or equal gravel on soil compacted to 98% standard proctor max.
Dry density on undistured soil or engineered fill- note: if space below is changed to become excavated, the slab & wall requirement will require additional reinforcing

- All exposed floors to have floor joists above full w/ 2lb. closed cell spray foam insul'n min. R31

- Flat roofs to have 2-ply torched on rubber membrane roof w/ 2% slope to edge on 1/2" plywood roof sheathing on roof trusses/joists

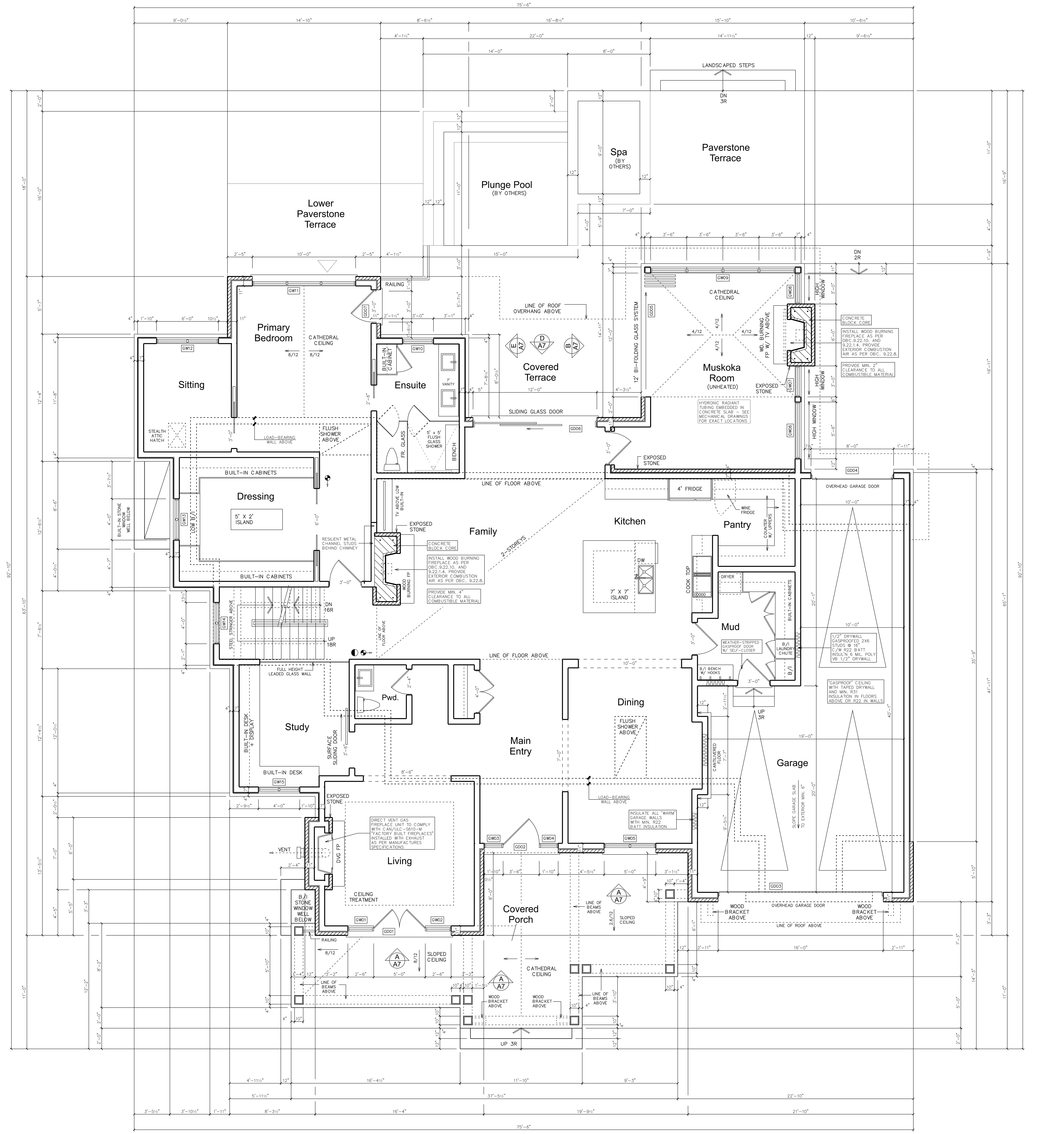
- Direct vent gas fireplace unit to comply with CAN/ULC-S610-M "Factory built fire places" installed with exhaust as per manufactures specifications

- Provide 15M hook bars @ 15" o.c. top bars along slab bearing

- Provide 15M dowels @ 15" o.c. typical along slab bearing

36" UNO

24" UNO / 24" UNO



TYPICAL CEILING HEIGHT 10'-1"

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the ontario building code to be a designer.
Qualification information required unless the design is exempt under Division C - 3.2.5.1. of the 2012 ontario building code.

Name	Signature	BCIN
Peter Giordano		25061

Registration information required unless the design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code.

Firm Name	BCIN
David W. Small Designs Inc.	29999

Opening Legend

Sliding Door
Pocket Door
Archway
Swing Door
Glass Wall & Door
Surface Sliding Door

Drawing Legend

Joist direction
Post above
Floor drain
20"X28" Attic access hatch
Interconnected smoke alarm w/ visual indicator
Typical 'P3' post UNO
CO Alarm

Wall area	= 557.2 sm
Window area	= 92.6 sm
** Ratio	= 16.62%
Window/Sliding Glass Door Efficiency	= 1.6**
Skylight/Glazed Roofs Efficiency	= U-2.8

Ceiling w/ Attic Space - R60
Ceiling w/o Attic Space - R31
Exposed Floors - R31
Walls Above Grade - R22
Basement Walls - R20ci

*Refer to EEDS form for all other efficiency values

Energy efficiency compliance standard SB-12 3.1.1. Table 3.1.1.2.A (IP) pkg. "A1"

Note: All information shown are target R-Values and are to be confirmed by HVAC consultant through the building envelope modelling process.

no.	date	revision / comment
3	Mar 02/22	Revised per Window & Door Schedule
2	Jan 21/22	Revised Per Color Board/Material Adjustments
1	Dec 16/21	Issued To Owner For Zoning Approvals

Project:

The Seychuk-Chalmers Home
31 Christman Court

Lot 15
Registered Plan 7426
City of Markham,
Regional Municipality of York

Drawing:

Ground Floor Plan

Scale: 1/4"=1'-0"
Date: Dec 2021
Dwn by: HM
Proj. no.: 21-1942

A2

David Small Designs

Appendix B

Schedules

Wood Lintels / Beams

B1 2-2x8 B2 3-2x8 B3 4-2x8 Bolted B4 2-2x10 B5 3-2x10 B6 4-2x10 Bolted	B7 2-2x12 B8 3-2x12 B9 4-2x12 Bolted B10 1-7.25" LVL B11 2-7.25" LVL B12 3-7.25" LVL	B13 1-9.5" LVL B14 2-9.5" LVL B15 3-9.5" LVL B16 1-11.88" LVL B17 2-11.88" LVL B18 3-11.88" LVL	B19 1-14" LVL B20 2-14" LVL B21 3-14" LVL B22 1-16" LVL B23 2-16" LVL B24 3-16" LVL	Note: where solid (1) piece lumber shown - do not substitute multiple ply

Note:
1). Engineered wood beams to be min. 2.0e or equal and 1-3/4" in width. Nailing pattern see S1.
2). 'SDS' = Simpson Strong-Tie Strong-Drive heavy-duty connector screws. Refer to manuf. specs. for exact details (see typ. detail screw patterns)

Columns / Posts

P2 2-2x6 P3 3-2x6	P4 4-2x6 P5 5-2x6	P6 3-2x4 P7 4-2x4	P8 5-2x4 P9 4x4	P10 6x6 P11 3-2x8	P12 4-2x8

C1 HSS 3.5"x3.5"x0.25" - Brg. Plate 6"x 5/8"x 10" + (2) 5/8" Dia. A.B
C2 HSS 4"x4"x0.312" - Brg. Plate 10"x 3/4"x 10" + (2) 3/4" Dia. A.B
C3 HSS 5"x3"x 0.375" - Brg. Plate 11"x 3/4"x 11" + (2) 3/4" Dia. A.B
C4 HSS 5"x5"x 0.375" - Brg. Plate 11"x 1"x 11" + (2) 3/4" Dia. A.B
S1 W10x49 Exposed steel post/beam
S2 W12x40 Exposed steel post/beam

12" 3" Typical anchor bolt

Steel Lintels

L1 3.5" x 3.5" x 1/4" L2 5" x 3.5" x 1/4"	L3 5" x 3.5" x 5/16" L4 5" x 3.5" x 3/8"	L5 6" x 4" x 3/8" L6 7" x 4" x 1/2"

Steel Plates

WP1 = 6"x 5/8"x 10" + (2) 5/8" Diameter Anchor Bolts
WP2 = 6"x 7/8"x 14" + (2) 3/4" Diameter Anchor Bolts
WP3 = 11" x 1" x 11" + (2) 3/4" Diameter Anchor Bolts

12" 2"

All Structural Steel to Conform To G40.21-350W

Concrete Footings

BEW = Bottom Bars Each Way	F4 42" x 42" x 16" Deep c/w 5-15M BEW
F1 24" x 24" x 12" Deep F2 30" x 30" x 14" Deep F3 36" x 36" x 16" Deep	F5 48" x 48" x 16" Deep c/w 5-15M BEW F6 54" x 54" x 18" Deep c/w 7-15M BEW F7 60" x 60" x 18" Deep c/w 7-15M BEW F8 66" x 66" x 20" Deep c/w 9-15M BEW

> Strip footings below load bearing walls to have a min. 6" projection minimum 8" in depth + 2-15m bottom continuous
> All footings to bear on undisturbed soil, rock or engineered fill certified by soils engineer
> Min. soil bearing capacity = SLS 120 Kpa (2500 Psf) and to be verified by soils engineer prior to pouring footings

Refer to Sheet S1 for General Structural Notes

General Notes:

1. Do not scale drawings

2. These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.

3. All works to be in accordance with the ontario building code and all code references refer to OBC 2012 division 'B'

4. Contractor to check all dimensions, specifications, etc. on site and shall be responsible for reporting any discrepancy to the engineer and/ or designer.

5. Structural engineer to be notified prior to pouring of concrete to inspect re-bar set-up during construction - engineer will not certify walls or footing/slabs unless prior inspection is conducted - it is the responsibility of the contractor to notify the project engineer and make all arrangements.

6. All wood framed window openings that exceed 48" wide are to have 2/2"x6" plates @ bottom of opening (typical.) U.N.O.

7. Adjustments or changes made to the floor layout roof truss layout, beams, lentils & point loads or required load bearing walls must be identified prior to construction and David W. Small Designs Inc. and project engineer must be notified for further review and approval.

8. All shop drawings for precast units to be submitted for field review by site inspector prior to manufacturing and installation

9. 'SDS' = Simpson Stuttering Strong-Drive Heavy-Duty Connector Screws. Refer to manful. specs. For exact details (see S1 for screw patterns)

10. Typical Wall Stud Construction

- Typical exterior walls to be 2x6 spf #2 @ 16" o/c. (up to 13' high)
- All 14' & 16' high exterior walls to be 2/2x6 spf #2 @ 12" o/c.
- Typical interior walls to be 2x6 spf #2 @ 16" o/c. (up to 13' high)
- All 14' & 16' high interior walls to be 2/2x6 spf #2 @ 12" o/c.
- All 10' high interior basement walls to be 2x6 spf #2 @ 16" o/c.

11. Where load bearing walls are not finished with drywall or a suitable interior finish, then blocking or strapping shall be fastened to the stud at mid-height as per OBC. 9.23.10.2.(2)(5)

12. 5/8" subfloor sheathing to be screwed and glued to all TJI joists on all floors

13. Typical Non Load Bearing Partition

2x4 studs @16" o/c c/w double top & single bottom plate provide 1/2" drywall b/s

14. Typical Bathroom Reinforcement

Stud reinforcement required as per OBC. 9.5.2.3 in all bathrooms

15. All rigid or spray foam exposed interior insulation to be covered w/ taped and 'mudded' drywall

16. Specific location of hydro meter to be established by local utility on exterior of the house

17. All electrical panels & components to comply with OBC. 9.34. & specific requirements of the local utility supplier

18. Protection From Dampness

All wood framing members that are not pressure treated & which are supported on concrete in contact with ground or fill shall be separated from the concrete. by min. 5mil polyethylene or type 's' roll roofing as per OBC 9.23.2.3.(1) & (2)

19. Typical Wood Posts

All wood post shown to be 'P3' U.N.O.

20. Floor drains to be located in every mechanical room, lower terrace, window well and laundry room.

21. All windows and glass doors less than 24" above finished floor are recommended to be tempered glass.

22. All steel beams to bear on column cap plate. No side header connections allowed. Refer to detail 7/S1.

23. Structural steel shop drawing review to be done by builder. Builder to site confirm dimensions as per steel shop drawings prepared by steel supplier.

General Second Floor Notes:

1. At least one smoke alarm shall be installed on or near the ceiling on each floor and basement levels as per OBC 9.10.19 and also in each sleeping room with a visual signaling component as per OBC 9.10.19.1 (2)(3)(4). Smoke alarms and co. Alarms shall be interconnected. A carbon monoxide alarm shall be installed adjacent to every sleeping area for dwellings with fuel burning appliances, or an attached garage.

2. Typical Interior Door Heights

If ceiling height is 10'-0" or greater than interior doors to be 8'-0" tall
If ceiling height is 9'-0" - 10'-0" than interior doors to be 7'-6" tall
If ceiling height is less than 9'-0" than interior doors to be 6'-8" tall

3. Typical Mechanical Ventilation

A principal dwelling exhaust fan shall be installed and controlled by a centrally located switch identified as such. Every bathroom, powder room and laundry room shall be equipped with a mechanical exhaust fan and vent.

4. Typical Railing & Guard Heights

An interior handrail & guard shall be @ 36" a.f.f. per OBC 9.8 & sb7
An exterior handrail & guard shall be @ 36" (if less than a max. Of 6'-0" drop) per OBC 9.8 & sb7
An exterior handrail & guard shall be @ 42" (if greater than 6'-0" drop) a.f.f. per OBC 9.8 & sb7

5. Floor drains to be located in every mechanical room, lower terrace, window well and laundry room.

Project Notes:

- Stair to be built as one-piece unit as drawn and fastened to adjacent wall and floor headers for support

- Typical Porch Slab (Slab on Grade Condition)

6" R.C. slab on grade c/w 1-layer 6x6x6 welded wire mesh placed 2" down from top of slab over 6" granular 'a' or equal gravel on soil compacted to 98% standard proctor max.
Dry density on undistured soil or engineered fill- note: if space below is changed to become excavated, the slab & wall requirement will require additional reinforcing

- All exposed floors to have floor joists above full w/ 2lb. closed cell spray foam insul'n min. R31

- Flat roofs to have 2-ply torched on rubber membrane roof w/ 2% slope to edge on 1/2" plywood roof sheathing on roof trusses/joists

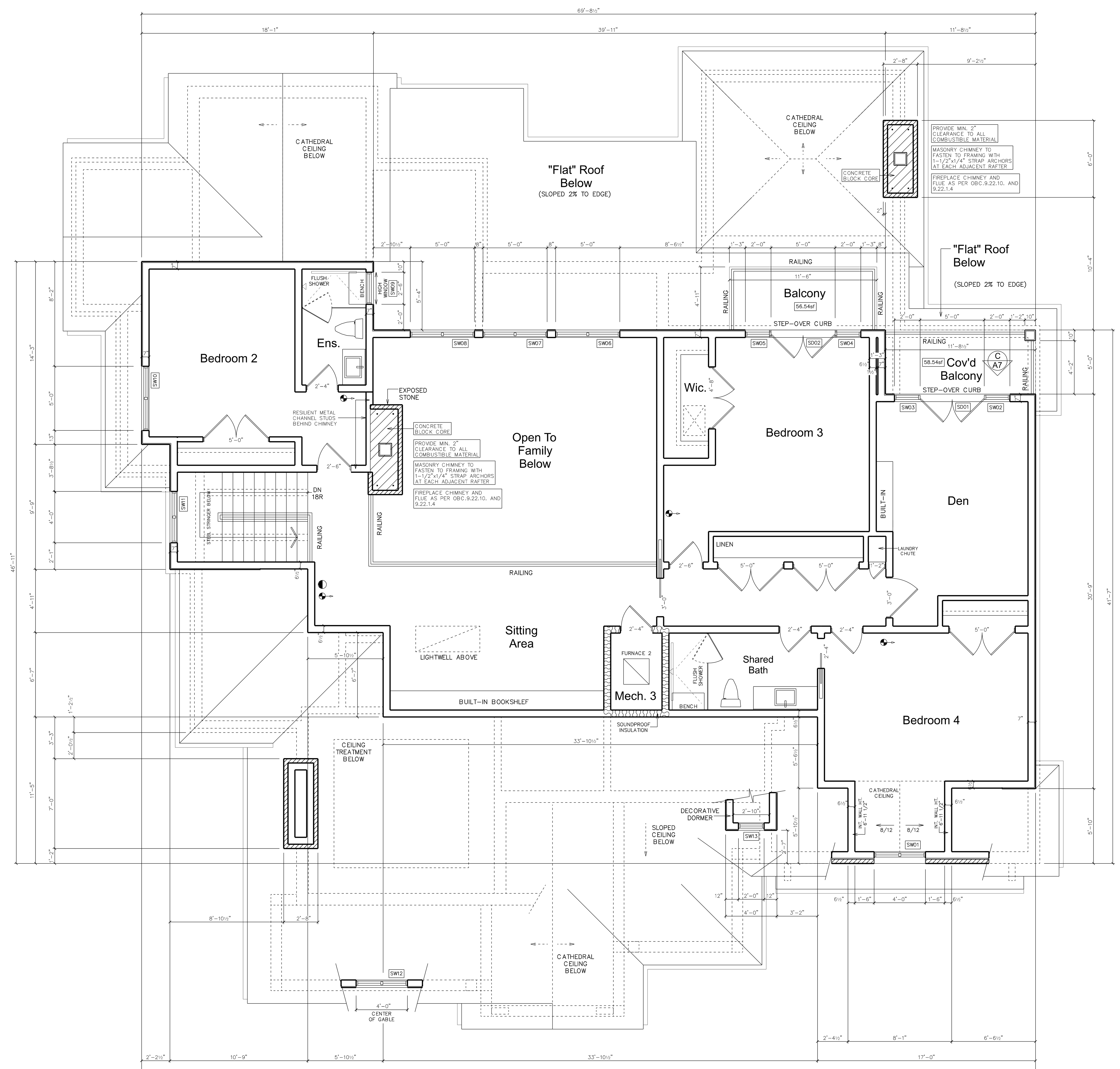
- Direct vent gas fireplace unit to comply with CAN/ULC-S610-M "Factory built fire places" installed with exhaust as per manufactures specifications

- Provide 15M hook bars @ 15" o.c. top bars along slab bearing

- Provide 15M dowels @ 15" o.c. typical along slab bearing

36" UNO

24" UNO 24" UNO



TYPICAL CEILING HEIGHT 9'-1"

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the ontario building code to be a designer.
Qualification information required unless the design is exempt under Division C - 3.2.5.1. of the 2012 ontario building code.

Name	Signature	BCIN
Peter Giordano	[signature]	25061

Registration information required unless the design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code.

Firm Name	BCIN
David W. Small Designs Inc.	29999

Opening Legend

Sliding Door
Pocket Door
Archway
Swing Door
Glass Wall & Door
Surface Sliding Door

Drawing Legend

Joist direction
Post above
Floor drain
20"X28" Attic access hatch
Interconnected smoke alarm w/ visual indicator
Typical 'P3' post UNO
CO Alarm

Wall area	= 557.2 sm
Window area	= 92.6 sm
** Ratio	= 16.62%
Window/Sliding Glass Door Efficiency	= 1.6**
Skylight/Glazed Roofs Efficiency	= U-2.8

Ceiling w/ Attic Space	- R60	Energy efficiency compliance standard SB-12 3.1.1. Table 3.1.1.2.A (IP) pkg. "A1"
Ceiling w/o Attic Space	- R31	
Exposed Floors	- R31	
Walls Above Grade	- R22	
Basement Walls	- R20ci	

*Refer to EEDS form for all other efficiency values

Note: All information shown are target R-Values and are to be confirmed by HVAC consultant through the building envelope modelling process.

no.	date	revision / comment
4	Mar 21/22	Client Requested Revisions
3	Mar 02/22	Revised per Window & Door Schedule
2	Jan 21/22	Revised Per Color Board/Material Adjustments
1	Dec 16/21	Issued To Owner For Zoning Approvals

Project:

The Seychuk-Chalmers Home
31 Christman Court

Lot 15
Registered Plan 7426
City of Markham,
Regional Municipality of York

Drawing:

Second Floor Plan

Scale: 1/4"=1'-0"
Date: Dec 2021
Dwn by: HM
Proj. no.: 21-1942

A3

David Small Designs

Appendix B

Elevation Notes

(2) Prefinished 'natural' wood siding to comply with ONT. Reg. 332/12 subsection 9.27.6. Lumber-siding and table 9.27.5.4.

Blocking or furring for the attachment of siding to comply with 9.27.5.2 and 9.27.5.3. and as per manufacturer's specifications

(3) Note: All over-hangs are 4" inset from stone facing on ground floors (typical)

Note: Refer to roof plan for all roof slopes and overhang info

(A) Stepped footing per OBC 9.15.3.9.

(B) Glazing to be tempered glass (If operable window provide opening restrictor) - Comply with OBC 9.8.8.1 (5) and (6)

(D) Clay flue as per OBC 9.21.2.5

Chimney Height as per OBC 9.21.4.4

Right Side Elevation

Unprotected Openings Calculations	
Limiting Distance	1.83m
Wall Area	1191.0 sf (110.6 sm)
Opening Area Allowed	91.2 sf (7.7 %)
Opening Area Proposed	16.9 sf (1.4 %)

Please Note The Figure For % Openings Allowed Has Been Interpolated Based On O.B.C. Table 9.10.15.4 And Glazed Areas Were Used To Calculate Proposed Openings As Allowed By 9.10.15.4.

Drawing Legend

1.0 Materials

1. Natural Stone
2. 6" Prefinished Horizontal Wood Siding
3. Painted Wood Panel
4. Metal Panel (Corner Windows)

2.0 Roofing

1 - 40 Year Asphalt Shingles

2 - Raised Seam Prefinished Metal Roofing

3 - 2-Ply Torched On Rubber Membrane Roof Sloped To 2% To Outside Edge On 1/2" Plywood Roof Sheathing On Roof Trusses/Joists

3.0 Trim, Cornice, Moulding, & Gutter Notes

4 - Prefinished Aluminum Gutter on 6" Prefinished Aluminum Fascia

5 - 12" Wide Prefinished Aluminum Fascia c/w Starter Strip & Drip Edge 1"x12" Base Fascia Board 1"x6" Flat Stock 6" Prefinished Aluminum Gutter

Typical Cornice Trim

6 - 4" Sloped Wood Trim on Crezon Flat Stock (Total 12" High)

6a - 4" Sloped Wood Trim on Crezon Flat Stock (Total 10" High)

6b - 4" Sloped Wood Trim on Crezon Flat Stock (Total 6" High)

7 - 12" Stepped Aluminum Fascia w/2" Top-Edge Reveal -12" Sloped Wood Trim w/ Crezon Flat Stock

7a - 12" Stepped Aluminum Fascia w/2" Top-Edge Reveal -10" Sloped Wood Trim w/ Crezon Flat Stock

7b - 12" Stepped Aluminum Fascia w/2" Top-Edge Reveal

8 - 12" Cut Stone Lintel

9 - 6" Prefinished Wood Trim

9a - 12" Prefinished Wood Trim

10 - 4" Cut Stone Sill c/w 2" Projection

11 - 2" Prefinished Wood Sill Projected 2"

11a - 8" Prefinished Wood Sill Projected 2" w/ 2" Top Edge Reveal

12 - 15"x15" Decorative Cut Stone Medallion

13 - Precast Chimney Cap

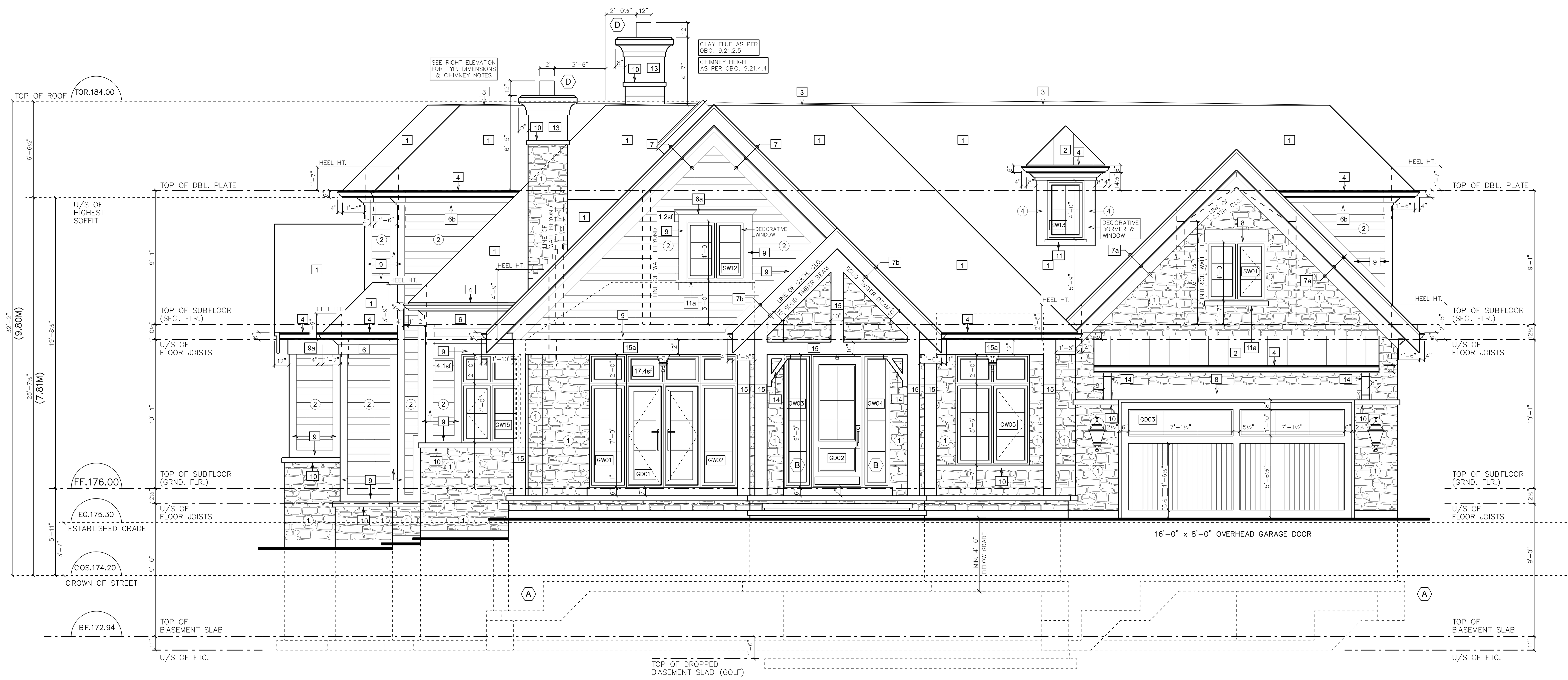
14 - Decorative Wood Bracket

4.0 Railing & Post

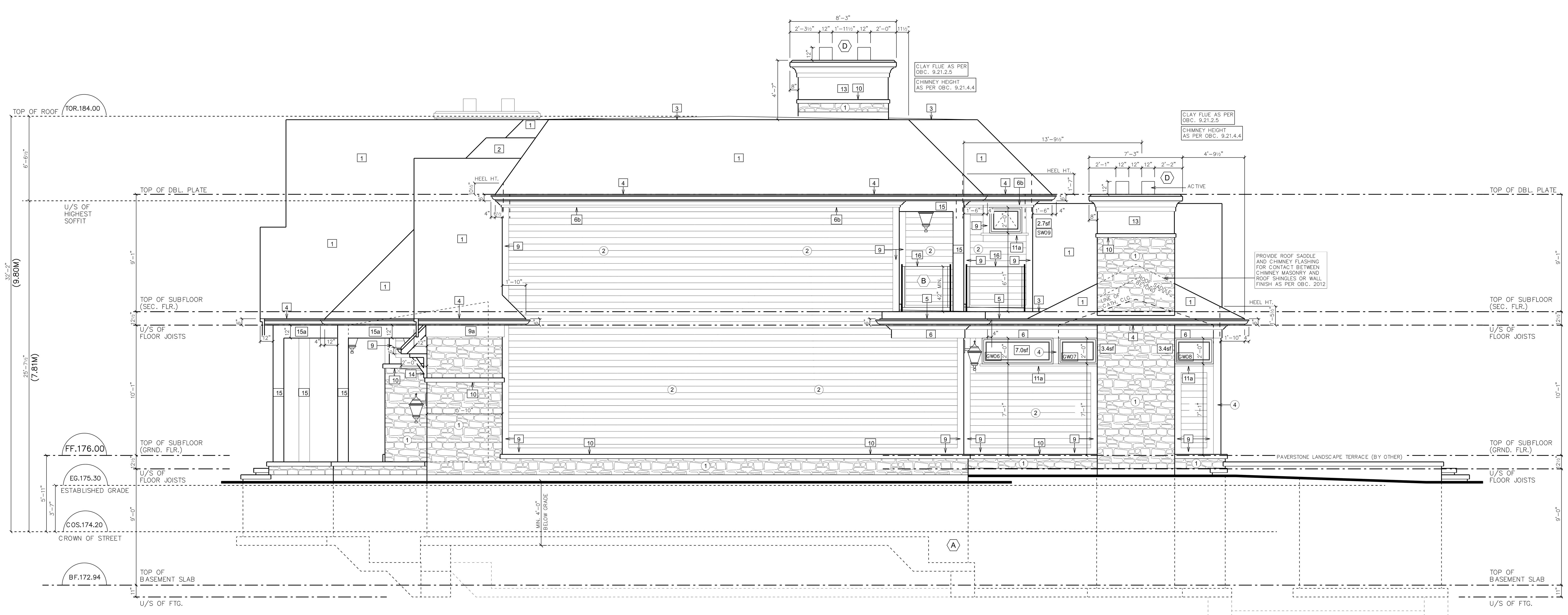
15 - 10"x10" Solid Timber Post & Beam

15a - 10"x12" Deep Solid Timber Beam

16 - Frameless Tempered Glass Panels Min. 42" Above Fin. Decking - Contractor To Provide Shop Drawing To Inspector Prior To Installation To Ensure They Meet All Aspect Of OBC. 9.8. & SB-13 Of The Supplement



Front (West) Elevation



Right-Side (South) Elevation

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the ontario building code to be a designer.
Qualification information required unless the design is exempt under Division C - 3.2.5.1. of the 2012 ontario building code.

Peter Giordano	[signature]	25061
Name	Signature	BCIN

Registration information required unless the design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code.

David W. Small Designs Inc.	29999
Firm Name	BCIN

no.	date	revision / comment
3	Mar 02/22	Revised per Window & Door Schedule
2	Jan 21/22	Revised Per Color Board/Material Adjustments
1	Dec 16/21	Issued To Owner For Zoning Approvals

Project:

The Seychuk-Chalmers Home
31 Christman Court

Lot 15
Registered Plan 7426
City of Markham,
Regional Municipality of York

Drawing:

Front & Right-Side Elevations

Scale: 1/4"=1'-0"
Date: Dec 2021
Dwn by: HM
Proj. no.: 21–1942

A5

David Small Designs

Appendix B

Elevation Notes

(2)	Prefinished 'natural' wood siding to comply with ONT. Reg. 332/12 subsection 9.27.6. Lumber-siding and table 9.27.5.4.
	Blocking or furring for the attachment of siding to comply with 9.27.5.2 and 9.27.5.3. and as per manufacturer's specifications
(3)	Note: All over-hangs are 4" inset from stone facing on ground floors (typical)
	Note: Refer to roof plan for all roof slopes and overhang info
(A)	Stepped footing per OBC 9.15.3.9.
(B)	Glazing to be tempered glass (If operable window provide opening restrictor) - Comply with OBC 9.8.8.1 (5) and (6)
(D)	Clay flue as per OBC 9.21.2.5 Chimney Height as per OBC 9.21.4.4

Left Side Elevation

Unprotected Openings Calculations

Limiting Distance	1.79m
Wall Area	1311.6 sf (121.9 sm)
Opening Area Allowed	99.4 sf (7.6 %)
Opening Area Proposed	93.5 sf (7.1 %)

Please Note The Figure For % Openings Allowed Has Been Interpolated Based On O.B.C. Table 9.10.15.4 And Glazed Areas Were Used To Calculate Proposed Openings As Allowed By 9.10.15.4.

Drawing Legend

1.0 Materials

1	Natural Stone
2	6" Prefinished Horizontal Wood Siding
3	Painted Wood Panel
4	Metal Panel (Corner Windows)

2.0 Roofing

1	40 Year Asphalt Shingles
2	Raised Seam Prefinished Metal Roofing
3	2-Ply Torched On Rubber Membrane Roof Sloped To 2% To Outside Edge On 1/2" Plywood Roof Sheathing On Roof Trusses/Joists

3.0 Trim, Cornice, Moulding, & Gutter Notes

4	Prefinished Aluminum Gutter on 6" Prefinished Aluminum Fascia
5	12" Wide Prefinished Aluminum Fascia c/w Starter Strip & Drip Edge 1"x12" Base Fascia Board 1"x6" Flat Stock 6" Prefinished Aluminum Gutter
	Typical Cornice Trim
6	4" Sloped Wood Trim on Crezon Flat Stock (Total 12" High)
6a	4" Sloped Wood Trim on Crezon Flat Stock (Total 10" High)
6b	4" Sloped Wood Trim on Crezon Flat Stock (Total 6" High)
7	12" Stepped Aluminum Fascia w/2" Top-Edge Reveal -12" Sloped Wood Trim w/ Crezon Flat Stock
7a	12" Stepped Aluminum Fascia w/2" Top-Edge Reveal -10" Sloped Wood Trim w/ Crezon Flat Stock
7b	12" Stepped Aluminum Fascia w/2" Top-Edge Reveal
8	12" Cut Stone Lintel
9	6" Prefinished Wood Trim
9a	12" Prefinished Wood Trim
10	4" Cut Stone Sill c/w 2" Projection
11	2" Prefinished Wood Sill Projected 2"
11a	8" Prefinished Wood Sill Projected 2" w/ 2" Top Edge Reveal
12	15"x15" Decorative Cut Stone Medallion
13	Precast Chimney Cap
14	Decorative Wood Bracket

4.0 Railing & Post

15	10"x10" Solid Timber Post & Beam
15a	10"x12" Deep Solid Timber Beam
16	Frameless Tempered Glass Panels Min. 42" Above Fin. Decking - Contractor To Provide Shop Drawing To Inspector Prior To Installation To Ensure They Meet All Aspect Of OBC. 9.8. & SB-13 Of The Supplement

Rear (East) Elevation

Left-Side (North) Elevation

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Peter Giordano	[signature]	25061

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Firm Name	BCIN
David W. Small Designs Inc.	29999

no.	date	revision / comment
4	Mar 21/22	Client Requested Revisions
3	Mar 02/22	Revised per Window & Door Schedule
2	Jan 21/22	Revised Per Color Board/Material Adjustments
1	Dec 21/21	Issued To Owner For Zoning Approvals

Project:

The Seychuk-Chalmers Home
31 Christman Court

Lot 15
Registered Plan 7426
City of Markham,
Regional Municipality of York

Drawing:

Rear & Left-Side Elevations

Scale: 1/4"=1'-0"
Date: Dec 2021
Dwn by: HM
Proj. no.: 21-1942

A6

David Small Designs

Elevation Notes

(2) Prefinished 'natural' wood siding to comply with ONT. Reg. 332/12 subsection 9.27.6. Lumber-siding and table 9.27.5.4.

Blocking or furring for the attachment of siding to comply with 9.27.5.2 and 9.27.5.3. and as per manufacturer's specifications

(3) Note: All over-hangs are 4" inset from stone facing on ground floors (typical)

Note: Refer to roof plan for all roof slopes and overhang info

(A) Stepped footing per OBC 9.15.3.9.

(B) Glazing to be tempered glass (If operable window provide opening restrictor) - Comply with OBC 9.8.8.1 (5) and (6)

(D) Clay flue as per OBC 9.21.2.5

Chimney Height as per OBC 9.21.4.4

Drawing Legend

1.0 Materials

- (1) Natural Stone
- (2) 6" Prefinished Horizontal Wood Siding
- (3) Painted Wood Panel
- (4) Metal Panel (Corner Windows)

2.0 Roofing

- [1] 40 Year Asphalt Shingles
- [2] Raised Seam Prefinished Metal Roofing
- [3] 2-Ply Torched On Rubber Membrane Roof Sloped To 2% To Outside Edge On 1/2" Plywood Roof Sheathing On Roof Trusses/Joists

3.0 Trim, Cornice, Moulding, & Gutter Notes

- [4] Prefinished Aluminum Gutter on 6" Prefinished Aluminum Fascia
- [5] 12" Wide Prefinished Aluminum Fascia c/w Starter Strip & Drip Edge 1"x12" Base Fascia Board 1"x6" Flat Stock 6" Prefinished Aluminum Gutter

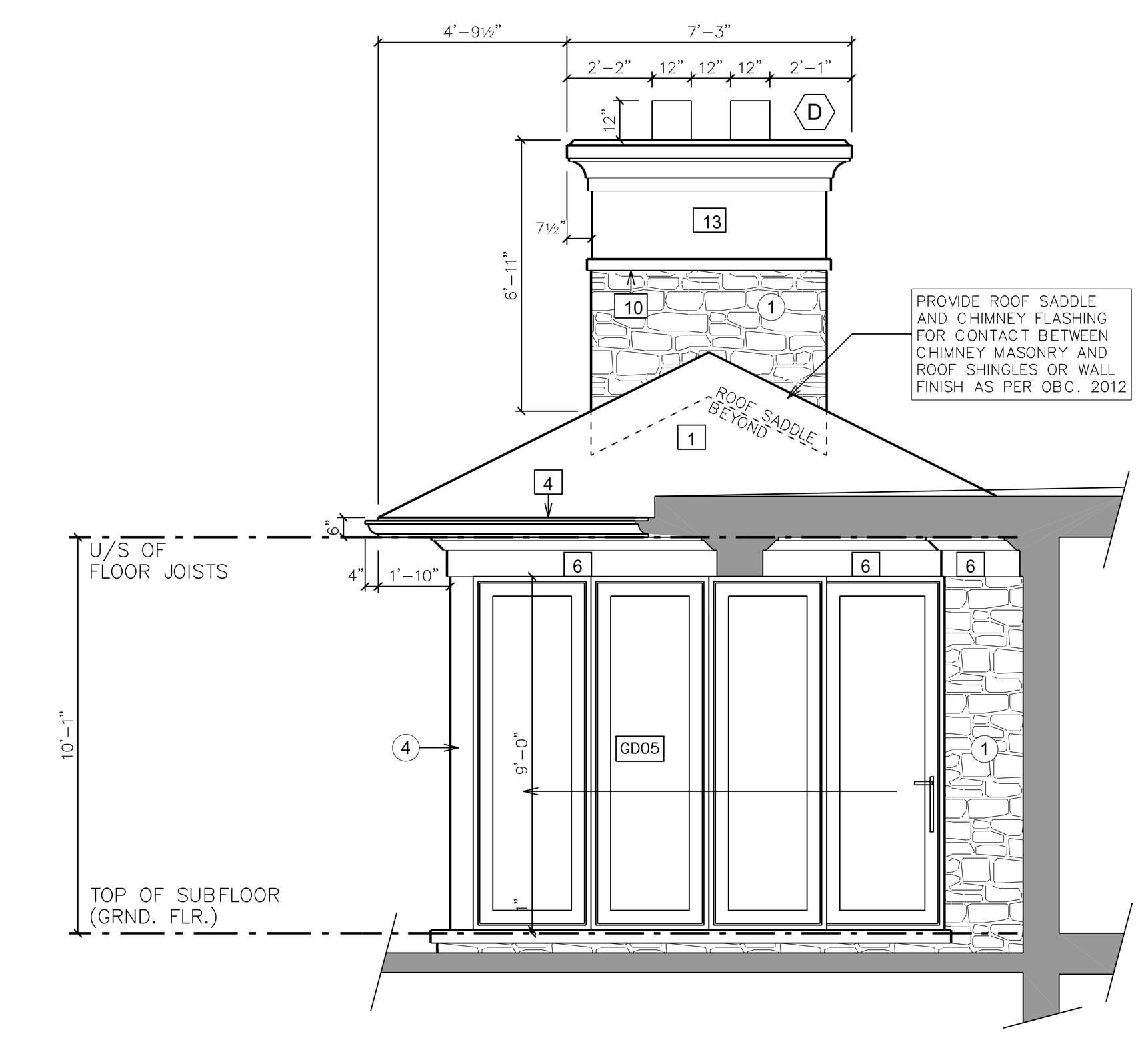
Typical Cornice Trim

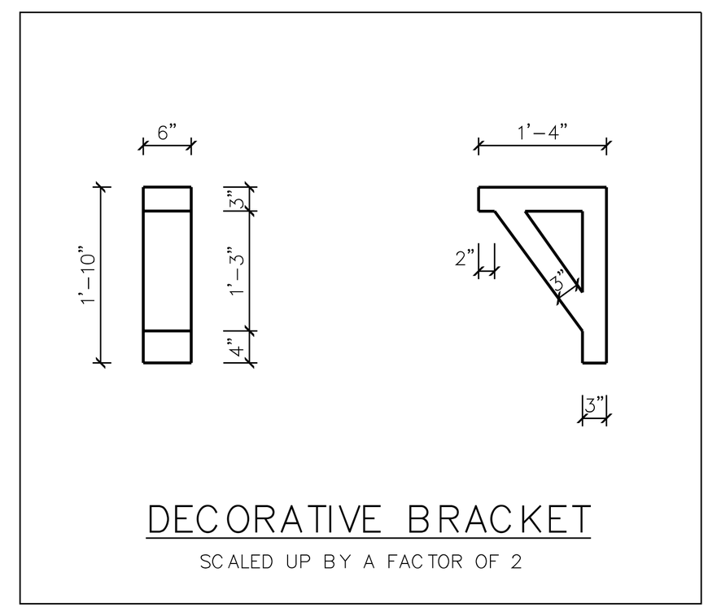
- [6] 4" Sloped Wood Trim on Crezon Flat Stock (Total 12" High)
- [6a] 4" Sloped Wood Trim on Crezon Flat Stock (Total 10" High)
- [6b] 4" Sloped Wood Trim on Crezon Flat Stock (Total 6" High)
- [7] 12" Stepped Aluminum Fascia w/2" Top-Edge Reveal -12" Sloped Wood Trim w/ Crezon Flat Stock
- [7a] 12" Stepped Aluminum Fascia w/2" Top-Edge Reveal -10" Sloped Wood Trim w/ Crezon Flat Stock
- [7b] 12" Stepped Aluminum Fascia w/2" Top-Edge Reveal
- [8] 12" Cut Stone Lintel
- [9] 6" Prefinished Wood Trim
- [9a] 12" Prefinished Wood Trim
- [10] 4" Cut Stone Sill c/w 2" Projection
- [11] 2" Prefinished Wood Sill Projected 2"
- [11a] 8" Prefinished Wood Sill Projected 2" w/ 2" Top Edge Reveal
- [12] 15"x15" Decorative Cut Stone Medallion
- [13] Precast Chimney Cap
- [14] Decorative Wood Bracket

4.0 Railing & Post

- [15] 10"x10" Solid Timber Post & Beam
- [15a] 10"x12" Deep Solid Timber Beam
- [16] Frameless Tempered Glass Panels Min. 42" Above Fin. Decking - Contractor To Provide Shop Drawing To Inspector Prior To Installation To Ensure They Meet All Aspect Of OBC. 9.8. & SB-13 Of The Supplement

Hidden Elevation 'A'





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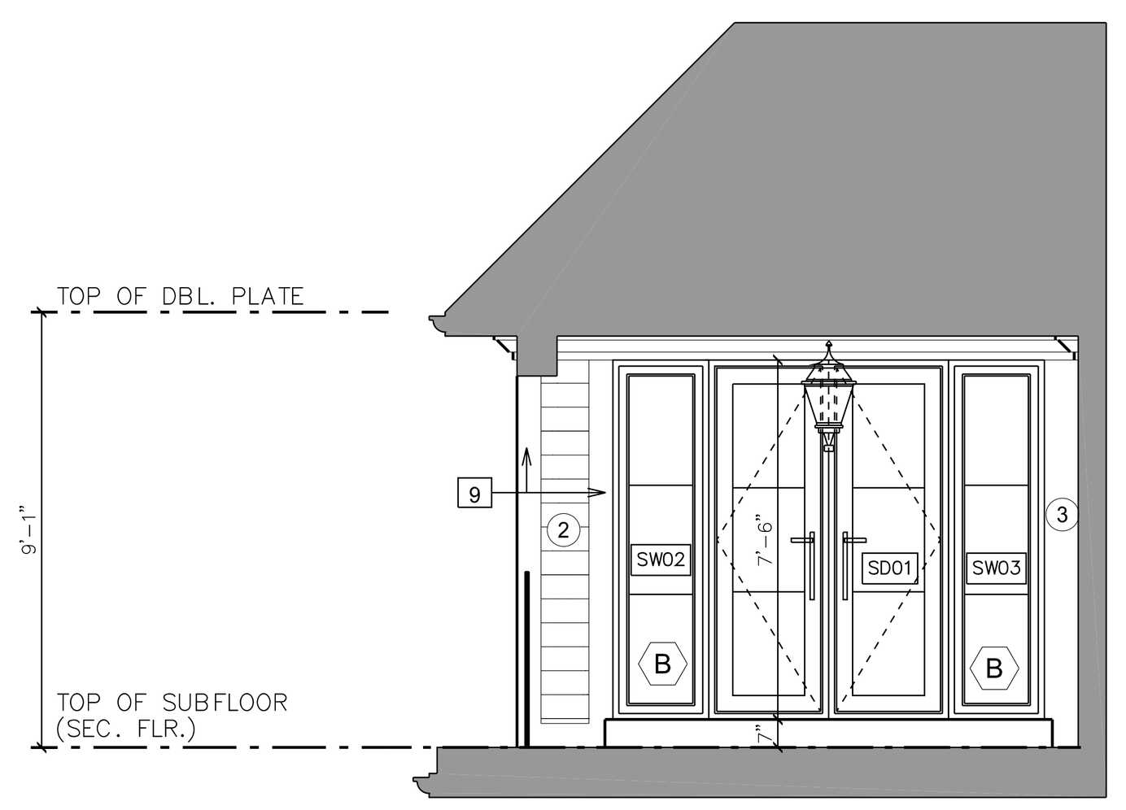

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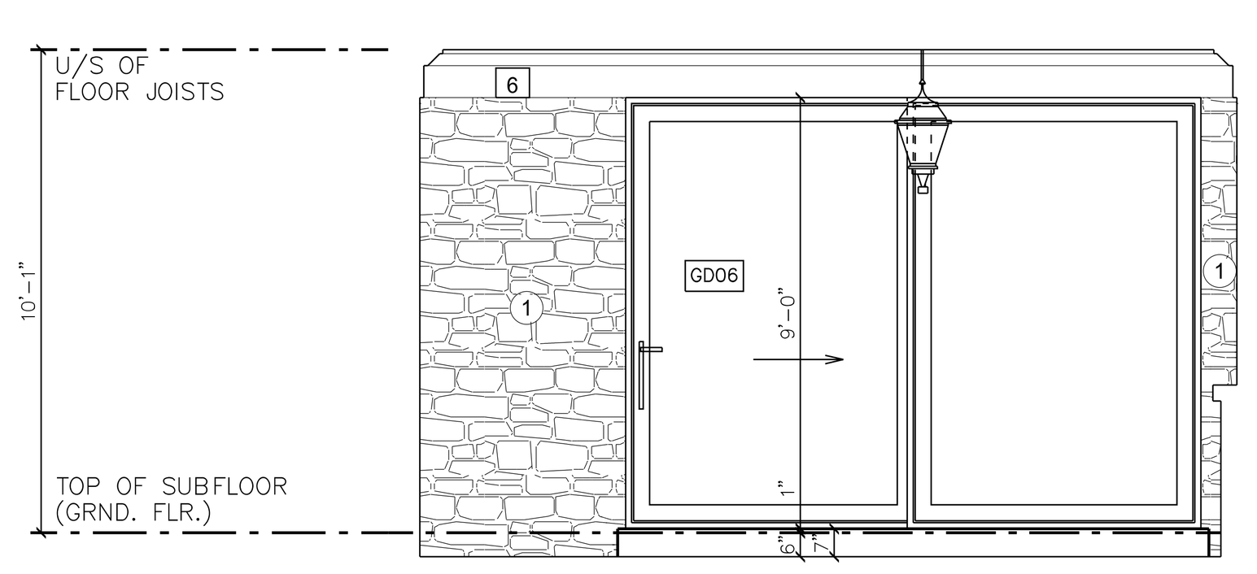
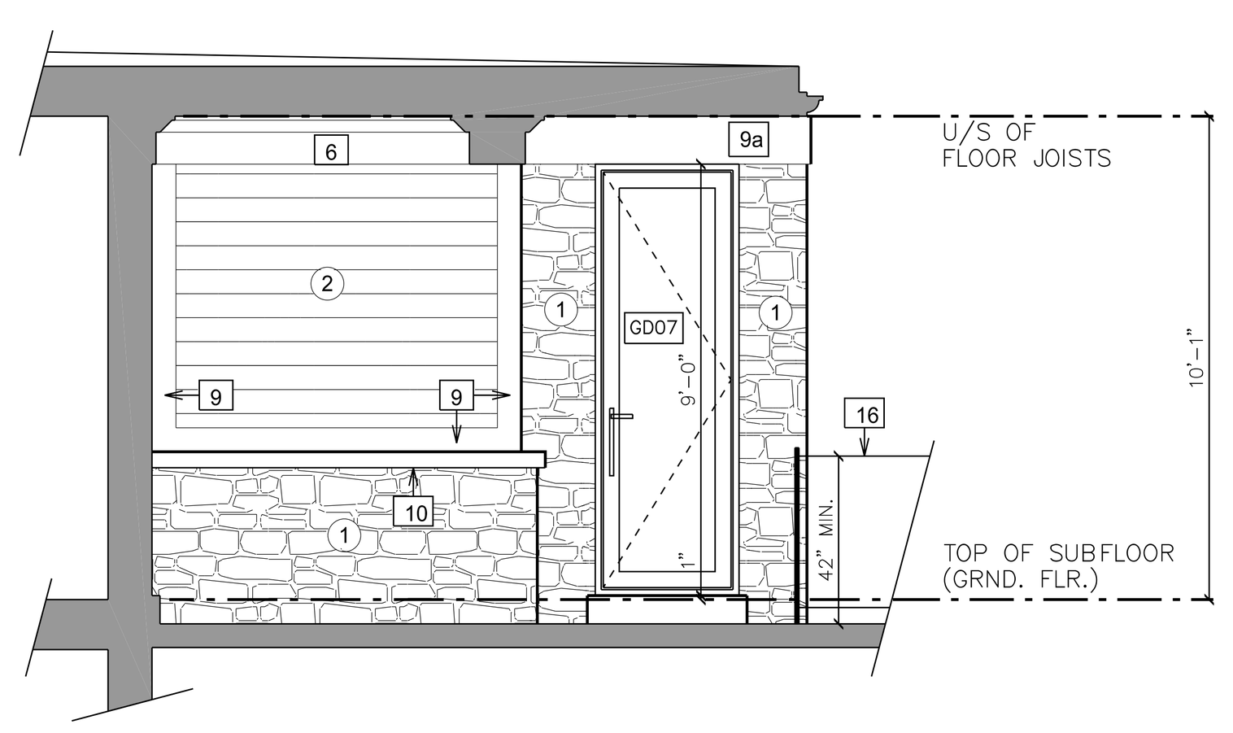


Hidden Elevation 'D'



Hidden Elevation 'E'

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Peter Giordano	[signature]	25061
Name	Signature	BCIN

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David W. Small Designs Inc.	29999
Firm Name	BCIN

no.	date	revision / comment
3	Mar 02/22	Revised per Window & Door Schedule
2	Jan 21/22	Revised Per Color Board/Material Adjustments
1	Dec 16/21	Issued To Owner For Zoning Approvals

Project:

The Seychuk-Chalmers Home
31 Christman Court

Lot 15
Registered Plan 7426
City of Markham,
Regional Municipality of York

Drawing:

Hidden Elevations

Scale: 1/4"=1'-0"
Date: Dec 2021
Dwn by: HM
Proj. no.: 21-1942

A7

David Small Designs