

# Memorandum to the City of Markham Committee of Adjustment

September 13, 2022

**File:** A/041/22  
**Address:** 22 Byer Drive – Markham, ON  
**Applicant:** Purnima Chakraborty and Pradyut Chakraborty  
**Agent:** Sol-Arch (Jonathan Benczkowski)  
**Hearing Date:** September 21, 2022

The following comments are provided on behalf of the East District team. The applicant is requesting relief from the following “Eighth Density – Single Family Residential (R8)” zone requirements under By-law 153-80, as amended, as they relate to a proposed verandah and two-storey addition at the front of the dwelling, and an existing rear covered patio. The variances requested are to permit:

**a) Section 7.2 (b):**

a minimum side yard setback of 1.20 m (3.94 ft), whereas the By-law requires a minimum side yard setback of 1.80 m (5.91 ft);

**b) Section 7.2 (b):**

a minimum rear yard setback of 7.08 m (23.23 ft), whereas the By-law requires a minimum rear yard setback of 7.50 m (24.61 ft); and

**c) Section 7.2 (c):**

a maximum lot coverage of 43.63%, whereas the By-law permits a maximum lot coverage of 33.30%.

## PROPERTY DESCRIPTION

22 Byer Drive (the “Subject Property”) is located north of Snider Drive, east of Raymerville Drive, west of Main Street Markham North, and south of 16<sup>th</sup> Avenue. The Subject Property is located within a residential neighbourhood comprised of low rise single detached dwellings. The 460.37 m<sup>2</sup> (4,955.33 ft<sup>2</sup>) Subject Property is currently developed with a two-storey detached dwelling, which has an existing rear covered patio. One mature tree exists within the City boulevard.

## PROPOSAL

The applicant is proposing to construct a one-storey 9.04 m<sup>2</sup> (97.31 ft<sup>2</sup>) front verandah and two-storey building addition with an approximate area of 51.24 m<sup>2</sup> (551.54 ft<sup>2</sup>) located at the front of the house. The applicant also seeks to recognize an existing non-conforming one-storey 36.62 m<sup>2</sup> (394.17 ft<sup>2</sup>) covered patio in the rear yard. The proposed development is shown in Appendix “B”.

## OFFICIAL PLAN AND ZONING

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The Subject Property is designated “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings. Infill development is required to meet the general intent of the Official Plan with respect to height, massing, and setbacks to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties, and properties along the street, while accommodating diverse building styles.

#### Zoning By-Law 153-80 (the "Zoning By-law")

The Subject Property is zoned "Eighth Density – Single Family Residential (R8)" under the Zoning By-law, which permits one single detached dwelling. The proposed development does not comply with the Zoning By-law with respect to the minimum side yard setback, minimum rear yard setback, and maximum lot coverage.

#### **ZONING PRELIMINARY REVIEW (ZPR) NOT UNDERTAKEN**

On December 13, 2021, the applicant received comments from building staff through their permit process which identified the non-compliances for the proposed development. Following receipt of these comments, the applicant submitted a minor variance application, which confirms the variances requested.

Staff advise that it is the applicant's responsibility to ensure that the variances to the Zoning By-law required for the proposed development have accurately been identified. If the variances in this application contains errors, or if the need for additional variances is identified at the Building Permit review stage, further variance application(s) may be required to address any non-compliances.

#### **COMMENTS**

The *Planning Act, R.S.O. 1990, c. P.13, as amended* (the "*Planning Act*"), states that four tests must be met in order for a variance to be granted by the Committee of Adjustment (the "Committee"):

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

#### Reduction in Minimum Side Yard Setback (Two-Storey Portion)

The applicant is requesting a minimum side yard setback of 1.20 m (3.94 ft) for the two-storey portion of the dwelling, whereas the Zoning By-law requires a minimum side yard setback of 1.20 m (3.94 ft) on each side for a one-storey portion, plus 0.60 m (1.97 ft) on each side for each additional storey (i.e. 1.80 m (5.91 ft) for the two-storey portion of the dwelling).

The side yard setback reduction of 0.60 m (1.97 ft) applies to the second storey at the south side of the property only, and is to accommodate a proposed addition above the garage that maintains an existing setback. As noted, the one-storey portion of the dwelling is permitted to have a side yard setback of 1.20 m (3.94 ft). The one-storey portion of the dwelling complies with the side yard setback along the south lot line, and the dwelling (including the second storey addition) will comply with the required 1.80 m (5.91 ft) side yard setback along the north lot line. Considering that the requested variance only relates to a portion of the dwelling comprising a second storey addition above the garage and maintains an existing setback, staff are of the opinion that there will be minimal impact resulting from this variance. Consequently, Planning staff are of the opinion that the requested variance maintains the general intent of the By-law, and is minor in nature.

#### Reduction in Minimum Rear Yard Setback

The applicant is requesting a minimum rear yard setback of 7.08 m (23.23 ft), whereas the By-law requires a minimum rear yard setback of 7.50 m (24.61 ft). This is a reduction of 0.42 m (1.38 ft).

The variance is attributable to an existing one-storey covered patio in the rear yard. The main building wall is setback a distance of 10.79 m (35.40 ft) from the rear lot line. Staff are of the opinion that the covered patio would be of minimal impact to neighbouring properties, and maintains a useable rear yard amenity space that is generally consistent with the By-law requirement.

#### Increase in Maximum Lot Coverage

The applicant is requesting a maximum lot coverage of 43.63%, whereas the By-law permits a maximum lot coverage of 33.33%. For the 460.37 m<sup>2</sup> (4,955.33 ft<sup>2</sup>) Subject Property, 200.86 m<sup>2</sup> (2,162.01 ft<sup>2</sup>) of buildable area is proposed, whereas the By-law permits a maximum lot coverage of 153.44 m<sup>2</sup> (1,651.61 ft<sup>2</sup>), resulting in an increase of 10.30%, or 47.42 m<sup>2</sup> (510.40 ft<sup>2</sup>).

The proposed front covered porch and rear covered patio are included in the maximum lot coverage, and cumulatively add 45.66 m<sup>2</sup> (491.48 ft<sup>2</sup>) to the overall building coverage. Both the porch and patio comply with the minimum side yard setbacks. Excluding the covered porches, the building with the proposed addition has a lot coverage of 33.71%, which is generally consistent with the lot coverage requirement.

The requested coverage variance is mostly attributable to the one-storey covered porches at the front and rear. The proposed development maintains appropriate building setbacks that in staff's opinion reflect the general intent of the By-law. With exception to the requested side and rear yard variances, the proposed development complies with other By-law requirements such as the minimum front yard setback and maximum building height. Staff are of the opinion that the lot coverage variance when assessed individually and cumulatively with the other variances requested would be of minimal impact to adjacent property owners.

### **EXTERNAL AGENCY COMMENTS**

#### Metrolinx

Metrolinx provided comments on this application, as the Subject Property is located within 300.0 m (984.25 ft) of Metrolinx's railway corridor which carries Metrolinx's Stouffville GO Train service. Metrolinx advises that there may be alterations to, or expansions of the rail facilities on such right of way in the future, including the possibility that Metrolinx or any railway entering into an agreement with Metrolinx may expand their operations which may affect the living environment of residents within the vicinity, notwithstanding the inclusion of any noise and vibration attenuating measures in the design of the development and individual dwellings.

### **PUBLIC INPUT SUMMARY**

No written submissions were received as of September 13, 2022. Additional information may be received after the writing of this report, and the Secretary-Treasurer will provide information on this at the meeting.

**CONCLUSION**

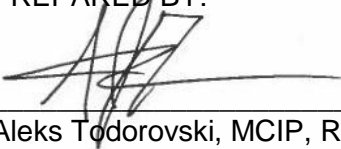
Planning staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, and are of the opinion that the requested variances meet the four tests. In reaching a decision staff recommend that the Committee consider public input, and the subsequent conditions of approval. The onus is ultimately on the applicant to demonstrate how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

**APPENDICES**

Appendix "A" – Conditions of Approval

Appendix "B" – Plans

PREPARED BY:



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Aleks Todorovski, MCIP, RPP  
Planner, East District

REVIEWED BY:



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Stephen Corr, MCIP, RPP  
Senior Planner II, East District

**APPENDIX “A”**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/041/22**

1. That the variances apply only to the proposed development for as long as it remains.
2. That the variances apply only to the proposed development, in substantial conformity with the plans attached as Appendix “B” to this Staff Report, and specifically that the front covered porch and rear covered patio are limited to a height of one-storey as shown in the Elevation Drawings A-7, A-8, A-9 and A-10, prepared by Tony Valentin Design dated February 2022, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to their satisfaction.

PREPARED BY:

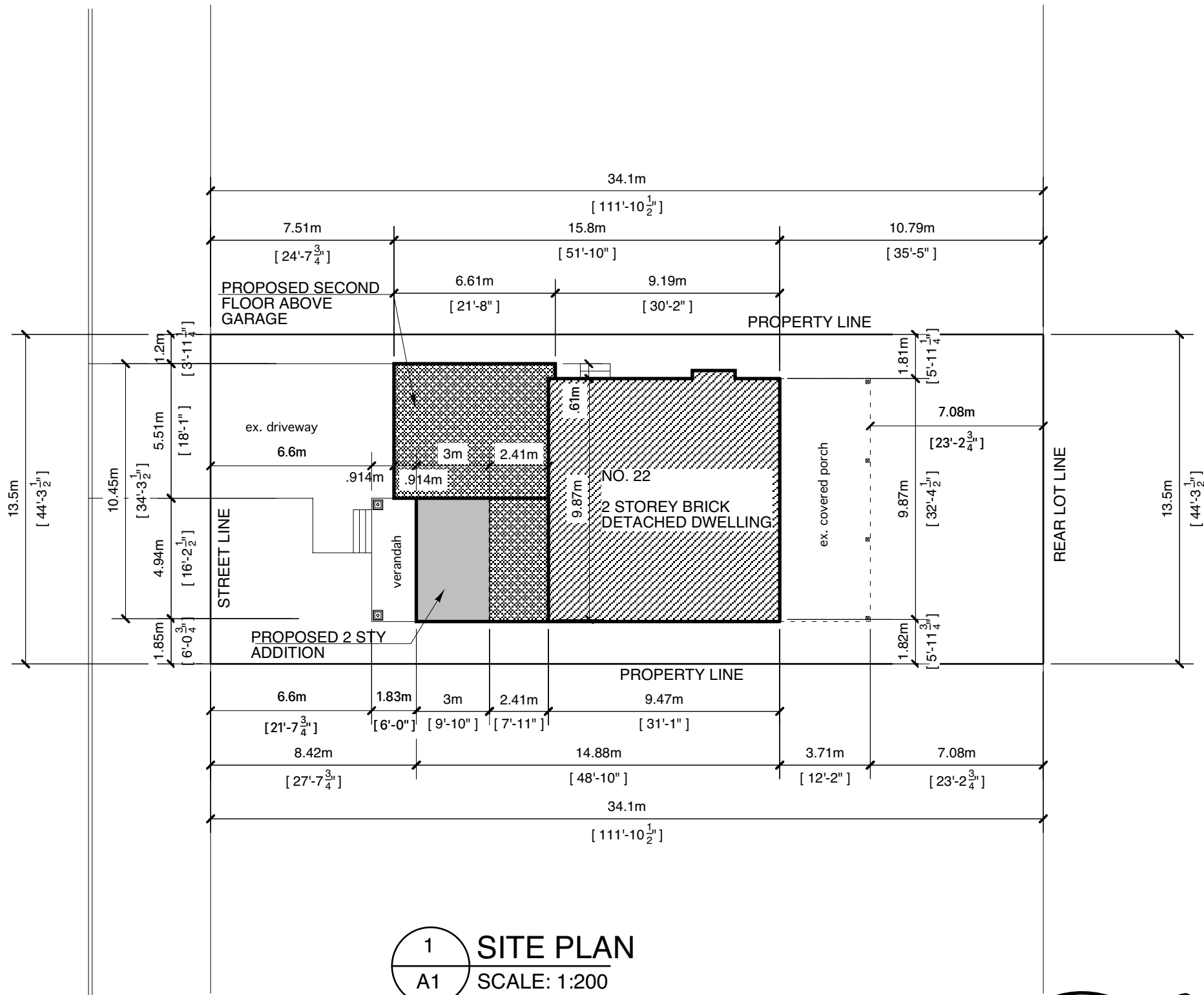
A handwritten signature in black ink, appearing to read 'Aleks Todorovski', written over a horizontal line.

Aleks Todorovski, MCIP, RPP  
Planner, East District

**APPENDIX “B”**

**PLANS TO BE ATTACHED TO ANY APPROVAL OF FILE A/041/22**

BYER DRIVE



1 SITE PLAN  
A1 SCALE: 1:200

INFORMATION TAKEN FROM  
BUILDING LOCATION SURVEY  
LOT 43, PLAN M-1976  
REGISTERED PLAN 861  
PREPARED BY CARTER HARWOOD LTD



FOR STRUCTURAL ONLY

#### GENERAL NOTES

1. SURFACE DRAINAGE SHALL NOT BE DISCHARGED DIRECTLY OR INDIRECTLY ONTO A SIDEWALK, DRIVEWAY, STAIRWAY OR AN ADJOINING PROPERTY.
2. NO WORK TO ENCROACH ON ADJOINING PROPERTY.
3. FLAME SPREAD RATING  
EXPOSED SURFACE AREA OF EVERY INTERIOR WALL AND CEILING INCLUDING SKYLIGHTS AND GLAZING, SHALL HAVE MAXIMUM SURFACE FLAME SPREAD RATING OF 150; EXCEPT CEILING OF A PUBLIC CORRIDOR SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25. WALLS OF A PUBLIC CORRIDOR SHALL HAVE A MAXIMUM SURFACE FLAME SPREAD RATING OF 75, AND WALL AND CEILINGS OF BATHROOMS SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 200.
4. DESIGN OF GUARDS TO PREVENT CLIMBING  
GUARDS AROUND EXTERIOR BALCONIES, PORCHES, AND DECKS SHALL BE DESIGNED / INSTALLED SO THAT NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 4" (100 MM) AND 2'-1 1/4" (900 MM) ABOVE THE FLOOR OF THE BALCONY, PORCH OR DECK WILL FACILITATE CLIMBING
5. GAS APPLIANCE AND THEIR VENTS AND CHIMNEYS SHALL BE CERTIFIED AND LABELLED BY A CERTIFICATION AND A TESTING ORGANIZATION ACCREDITED BY THE STANDARD COUNCIL OF CANADA. GAS APPLIANCES TO VENTED AND INSTALLED IN ACCORDANCE WITH THE ENERGY ACT, THE GAS UTILIZATION CODE AND THE MANUFACTURER'S SPECIFICATIONS. INSTALLATION OF A GAS APPLIANCE AND ITS VENTING SYSTEM IS NOT INCLUDED IN THIS PERMIT. PLEASE CONTACT CONSUMER GAS COMPANY FOR APPROVAL
6. LOADS ON GUARDS-O.B.C. 4.1.10.1  
THE MINIMUM SPECIFIED LOAD APPLIED HORIZONTALLY TO THE SPAN AT THE TOP OF EVERY REQUIRED GUARD SHALL BE  
  - A. 200 LB/FT FOR MEANS OF EGRESS IN GRANDSTANDS, STADIA, BLEACHERS AND ARENAS
  - B. A CONCENTRATED LOAD OF 225 LB APPLIED AT ANY POINT FOR ACCESS WALKWAYS TO EQUIPMENT PLATFORMS, CONTIGUOUS STAIRS AND SIMILAR AREAS WHERE THE GATHERING OF MANY PEOPLE IS IMPROBABLE
  - C. 0.75 KN/M (50 LB/FT) OR A CONCENTRATED LOADS OF 1.0 KN (225 LB) APPLIED AT ANY POINT, WHICHEVER GOVERNS, F OR LOCATION OTHER THAN DESCRIBED IN CLAUSES (A) AND (B)  
INDIVIDUAL ELEMENTS WITHIN THE GUARD, INCLUDING SOLID PANELS AND PICKETS, SHALL BE DESIGNED FOR CONCENTRATED LOAD OF 113 LB AT ANY POINT IN THE ELEMENT.  
  
THE MINIMUM SPECIFIED LOAD APPLIED VERTICALLY AT THE TOP OF EVERY REQUIRED GUARD SHALL BE 100 LB / FT AND NEED NOT BE CONSIDERED TO ACT SIMULTANEOUSLY WITH THE HORIZONTAL LOAD
7. SMOKE ALARMS SHALL BE INSTALLED ON EACH STOREY OF A DWELLING UNIT, INCLUDING BASEMENTS OBC 9.10.18
8. CARBON MONOXIDE DETECTOR  
  
IN EACH ROOM THAT CONTAINS A SOLID FUEL-BURNING APPLIANCE, PROVIDE A CARBON MONOXIDE DETECTOR ON OR NEAR THE CEILING EQUIPPED WITH AN ALARM AUDIBLE THROUGHOUT DWELLING UNIT OR INTERCONNECTED WITH SMOKE ALARM SO THAT WHEN THE CARBON MONOXIDE DETECTOR IS ACTIVATED, IT WILL ACTIVATE THE SMOKE ALARM AS PER 9.32.3.8 OF THE OBC.

ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT CITY OF TORONTO STANDARDS MUST BE DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONSTRUCTED AT THE SITE DEVELOPER'S EXPENSE.

RAIN WATER ROOF LEADERS  
ALL RAIN WATER ROOF LEADERS TO DISCHARGE ONTO CONCRETE SPLASH PADS WITH FLOWS DIRECTED TOWARDS BYER DRIVE AND THE REAR YARD AREA.

CONTRACTOR/BUILDER TO DETERMINE THE LOCATION AND DEPTH OF EXISTING SANITARY SEWER CONNECTION PRIOR TO CONSTRUCTION TO ENSURE GRAVITY FLOW OF PROPOSED FIXTURES WITHIN THE BASEMENT AREA.

#### COVERAGE CALCULATIONS

HOUSE	155.20 M2
FRONT VERANDAH	9.04 M2
REAR CANOPY	36.62 M2
TOTAL COVERAGE [43.63%]	200.86 M2

ZONING	LOT FRONTAGE 13.50 m	LOT DEPTH 34.10 m	LOT AREA 460.35 m2
LOT AREA	460.35 m2 [4955.33 sq ft]		
	EXISTING	ADDITION	TOTAL FLOOR AREA
BASEMENT	NONE	14.82 m2 [159.53 sq ft]	14.82 m2 [159.53 sq ft]
FIRST FLOOR	105.38 m2 [1134.28 sq ft]	14.82 m2 [159.53 sq ft]	120.20 m2 [1293.86 sq ft]
SECOND FLOOR	93.47 m2 [1006.14 sq ft]	49.84 m2 [536.49 sq ft]	143.31 m2 [154.63 sq ft]
TOTAL FLOOR AREA	196.85 m2 [2118.95 sq ft]	64.66 m2 [696.02 sq ft]	261.51 m2 [2814.96 sq ft]

## Appendix B

File: 22.113450.000.00.MNV

Date: 09/15/22

MM/DD/YY

MODEL & CAD NAME:



The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5.1 of the building code  
TONY VALENTIN 20917  
Name BCIN  
Signature Date 26 09 21  
REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.1 (3) of the building code  
TONY VALENTIN DESIGN 28858  
Firm Name BCIN

PROJECT TITLE:

**PROPOSED ADDITION AND  
ALTERATIONS TO EX. DWELLING**

DRAWING TITLE:

**SITE PLAN & STATISTICS**

ADDRESS:

**PRADUYT CHAKRABORTY  
RESIDENCE**

**22 BYER DRIVE LT. 43 RP. M-1976**

**CITY OF MARKHAM**

3	02 2022	issued for C of A	AD
2	07 2021	issued for permit	AD
1	12 2020	issued for client review	AD
NO.	DATE	REVISION	BY

DRAWN BY: AD

DESIGNED BY:

DATE: DEC 2020

SCALE : AS SHOWN

SHEET NO.

**A-1**

1 OF SHEETS

DEPTH OF EXCAVATION  
WHEN THE DEPTH OF EXCAVATION EXCEEDS 4'-0",  
EXCAVATE AT A 45 DEGREE ANGLE OR IN  
ACCORDANCE WITH APPROVED SHORING DETAILS.  
STRUCTURE IS NOT LOCATED ON GROUNDS HAVING  
A SLOPE STEEPER THAN 1 VERTICAL TO 2 HORIZONTAL  
EXCAVATION  
EVERY EXCAVATION SHALL BE UNDERTAKEN IN SUCH  
A MANNER AS TO PREVENT MOVEMENT WHICH WOULD  
CAUSE DAMAGE TO ADJACENT PROPERTY, EXISTING  
STRUCTURES, UTILITIES, ROADS AND SIDEWALKS  
AT ALL STAGES OF CONSTRUCTION

A DRAINAGE LAYER IS REQUIRED ON  
THE OUTSIDE OF A FOUNDATION WALL  
WHERE THE INTERIOR INSULATION  
EXTENDS MORE THAN 900 MM BELOW  
EXTERIOR GRADE. DRAINAGE LAYER  
SHALL CONSIST OF

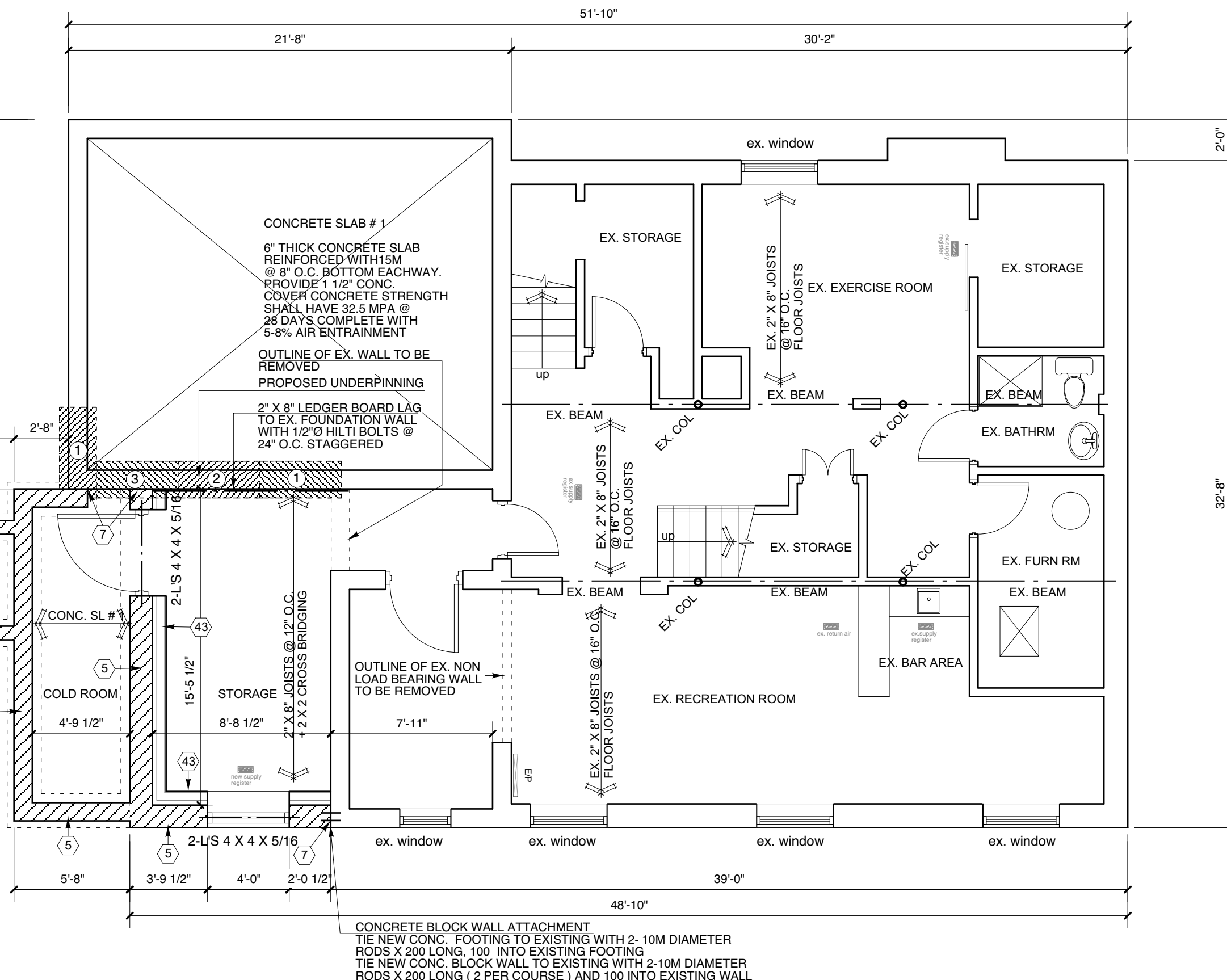
MIN. 20MM MINERAL FIBRE INSULATION  
WITH MIN. DENSITY OF 3.6 LB/FTMIN.  
100 MM OF FREE DRAINAGE GRANULAR  
MATERIAL, AN APPROVED SYSTEM WHICH  
PROVIDES EQUIVALENT PERFORMANCE

REINFORCING: CONFORM TO CSA STANDARD G30.  
LOCATION MIN. YIELD STRENGTH  
WELDED WIRE FABRIC 386 MPA  
STIRRUPS AND TIES 350 MPA  
REMAINDER 400 MPA

DETAILING, FABRICATION AND PLACEMENT OF  
REINFORCEMENT TO CONFORM TO CAN3-A23.1,  
CONCRETE MATERIALS AND METHODS OF  
CONSTRUCTION.

ALL CONCRETE EXPOSED TO WEATHER TO HAVE 4  
TO 6% AIR ENTRAINMENT. CONCRETE STRENGTH  
TO BE 40 MPA @ 28 DAYS.

CONCRETE COVER FOR REINFORCING STEEL  
UNLESS OTHERWISE NOTED TO BE:  
1. 75 MM FOR UNFORMED SURFACES IN CONTACT  
WITH THE EARTH  
2. 50 MM FOR FORMED SURFACES IN CONTACT  
WITH THE EARTH OR EXPOSED TO THE WEATHER  
3. 20MM FOR 15MM AND SMALLER BARS AT THE TOP  
AND BOTTOM SURFACES OF SLABS.  
4. 40 MM FOR ALL OTHER SURFACES.



1  
A3  
**BASEMENT PLAN**  
SCALE: 3/16" = 1'-0"

## Appendix B

File: 22.113450.000.00.MNV

Date: 09/15/22  
MM/DD/YY



FOR STRUCTURAL ONLY

MODEL & CAD NAME:



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and has the Qualifications and meets the requirements set out in the  
Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 2.17.5.1 of the building code  
TONY VALENTIN 20917

Name BCIN  
Signature Date  
26 09 21

REGISTRATION INFORMATION  
Required unless design is exempt under 2.17.4.1 of the building code  
TONY VALENTIN DESIGN 28858  
Firm Name BCIN

PROJECT TITLE:

**PROPOSED ADDITIONS AND  
ALTERATIONS TO EX. DWELLING**

DRAWING TITLE:

**BASEMENT PLAN**

ADDRESS:

**PRADUYT CHAKRABORTY  
RESIDENCE  
22 BYER DRIVE  
CITY OF MARKHAM**

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DRAWN BY: AD

DESIGNED BY:

DATE: JULY 2021

SCALE : AS SHOWN

SHEET NO.

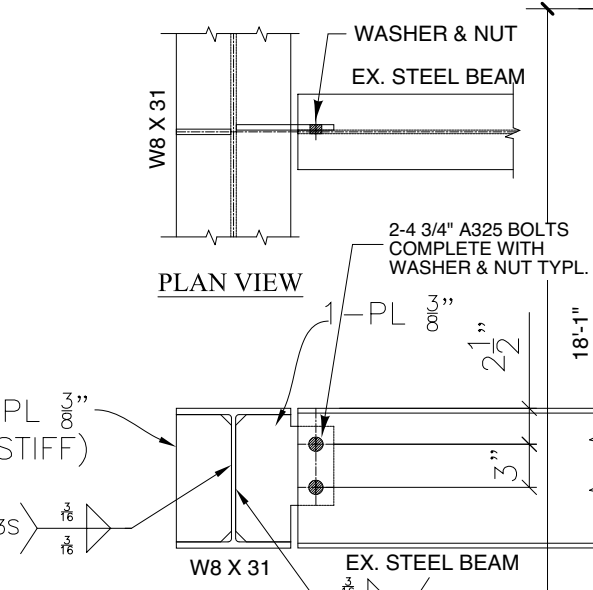
**A-2**

2 OF SHEETS



FACTORY-BUILT ZERO CLEARANCE FIREPLACE AND VENT TO OUTSIDE:  
ZERO CLEARANCE FIREPLACE SHALL BE LABORATORY LISTED AND  
INSTALLED WITH COMPATIBLE LABELLED CHIMNEYS AND IN  
ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

A CARBON MONOXIDE DETECTOR:  
TO BE PROVIDED IN EACH ROOM THAT CONTAINS A SOLID FUEL-  
BURNING APPLIANCE ON OR NEAR THE CEILING EQUIPPED WITH  
AN ALARM AUDIBLE THROUGHOUT THE DWELLING UNIT OR  
INTERCONNECTED WITH SMOKE ALARM SO THAT WHEN THE  
CARBON MONOXIDE DETECTOR IS ACTIVATED, IT WILL ACTIVATE  
THE SMOKE ALARM AS PER OBC. 9.23.3.8.



## SECTION "A"

### STEEL BEAM CONNECTION

#### COLUMN SCHEDULE

##### COLUMN # 1

4" X 4" X .188 HSS STEEL COLUMN WITH  
8" X 6" X 5/8" TOP PLATE + 2-5/8"  
BOLTS AND 10" X 10" X 3/4" BASE PLATE  
WITH 4-5/8" X 10" + 2" HOOK ANCHOR  
RODS ON 3'-4" X 3'-4" X 16"  
CONCRETE FOOTING REINFORCED WITH  
5-15M BOTHWAYS PROVIDE 1 1/2" MIN.  
CONCRETE COVER

##### COLUMN # 2

4" X 4" X .188 HSS STEEL COLUMN WITH  
8" X 6" X 5/8" TOP PLATE + 2-5/8"  
BOLTS AND 10" X 6" X 5/8" BASE PLATE  
WITH 2-5/8" X 8" + 2" J-HOOK ANCHOR  
RODS OVER EXISTING  
FOUNDATION WALL

1  
A4

### FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"  
RENOVATION AREA = 448.50 SF  
ADDITION = 162.98 SF

- 9.20.11.3. Wood Frame Walls Intersecting Masonry Walls
- (1) Wood frame walls shall be tied to intersecting masonry walls with not less than 4.76 mm diam corrosion-resistant steel rods spaced not more than 900 mm o.c. vertically.
  - (2) Ties required in Sentence (1) shall be anchored to the wood framing at one end and shaped to provide a mechanical key at the other end to develop the strength of the tie

ENTRANCE DOORS, WITHOUT GLAZING,  
SHALL BE PROVIDED WITH A DOOR  
VIEWER

WINDOWS WITHIN 2 M (6'-7") OF GROUND  
LEVEL MUST CONFORM TO THE  
REQUIREMENTS FOR RESISTANCE TO  
FORCED ENTRY AS PER 9.7.5.3. O.B.C.

## Appendix B

File: 22.113450.000.00.MNV

Date: 09/15/22  
MM/DD/YY

EX. POST

EX. POST

EX. POST

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26 09 21 Date

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**PROPOSED ADDITIONS AND  
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DRAWING TITLE:

**FIRST FLOOR PLAN**

ADDRESS:

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**22 BYER DRIVE LT. 43 RP. M-1976**

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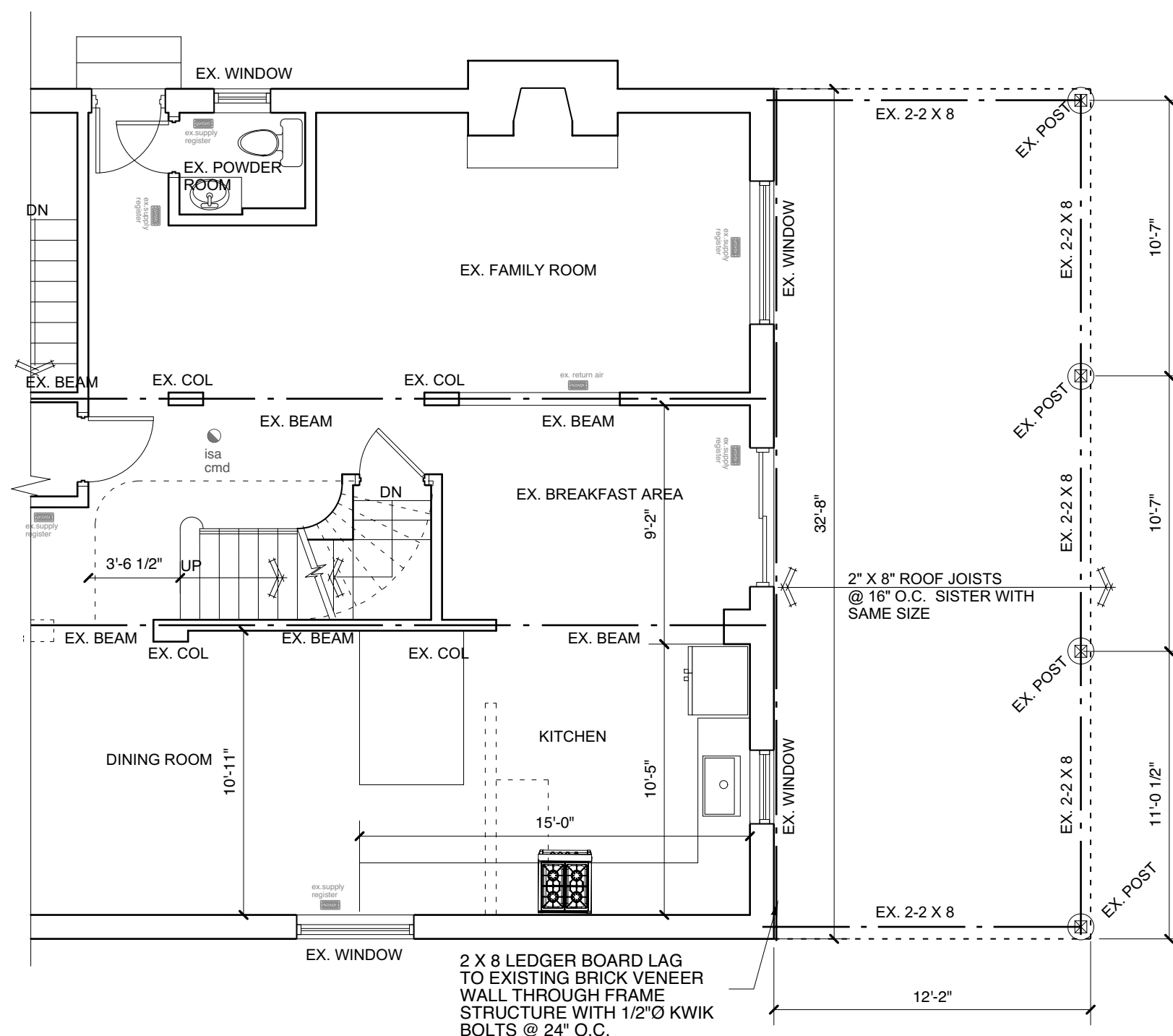
**A-3**

3 OF SHEETS

## Appendix B

File: 22.113450.000.00.MNV

Date: 09/15/22  
MM/DD/YY



### COLUMN SCHEDULE

#### COLUMN # 1

4" X 4" X .188 HSS STEEL COLUMN WITH  
8" X 6" X 5/8" TOP PLATE + 2-5/8"  
BOLTS AND 10" X 10" X 3/4" BASE PLATE  
WITH 4-5/8" X 10" + 2" HOOK ANCHOR  
RODS ON 3'-4" X 3'-4" X 16"  
CONCRETE FOOTING REINFORCED WITH  
5-15M BOTHWAYS PROVIDE 1 1/2" MIN.  
CONCRETE COVER

#### COLUMN # 2

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8" X 6" X 5/8" TOP PLATE + 2-5/8"  
BOLTS AND 10" X 6" X 5/8" BASE PLATE  
WITH 2-5/8" X 8" + 2" J-HOOK ANCHOR  
RODS OVER EXISTING  
FOUNDATION WALL

1

### FIRST FLOOR PLAN

A4

SCALE: 3/16" = 1'-0"

RENOVATION AREA = 448.50 SF

ADDITION = 162.98 SF

ENTRANCE DOORS, WITHOUT GLAZING,  
SHALL BE PROVIDED WITH A DOOR  
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WINDOWS WITHIN 2 M (6'-7") OF GROUND  
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**PROPOSED ADDITIONS AND  
ALTERATIONS TO EX. DWELLING**

DRAWING TITLE:

**PARTIAL FIRST FLOOR PLAN**

ADDRESS:

**PRADUYT CHAKRABORTY  
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**A-3a**

3 OF SHEETS

## Appendix B

File: 22.113450.000.00.MNV

Date: 09/15/22  
MM/DD/YY

## PLUMBING FIXTURES NOTES

EACH PLUMBING FIXTURE SHALL BE LOW WATER CONSUMPTION IN ACCORDANCE TO ONTARIO BUILDING CODE.  
PROVIDE ALL REQUIRED FITTINGS, TRAPS, VALVES, FAUCETS AND ESCUTCHEONS TO COMPLETE EACH FIXTURE INSTALLATION.  
SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL BEFORE ORDERING ANY FIXTURE.

BATHROOM TO BE PROVIDED WITH BLOCKING FOR FUTURE GRAB BAR REINFORCEMENT

## 9.10.19.3. location of smoke alarms

- (1) within dwelling units, sufficient smoke alarms shall be installed so that,
  - (a) there is at least one smoke alarm installed on each storey, including basements, and
  - (b) on any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed,
    - (i) in each sleeping room, and
    - (ii) in a location between the sleeping rooms and the remainder of the store and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway.
- (2) a smoke alarm required in sentence (1) shall be installed in conformance with can/ulc-s553, "installation of smoke alarms".
- (3) smoke alarms required in article 9.10.19.1. and sentence(1) shall be installed on or near the ceiling.

## 9.10.19.5. interconnection of smoke alarms

- (1) where more than one smoke alarm is required in a dwelling unit, the smoke alarms shall be wired so that the activation of one alarm will cause all alarms within the dwelling unit to sound.

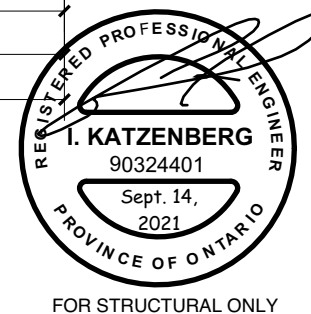
## TYVEC AIR BARRIER (OBC 9.25)

TYVEC BARRIER, LAPPED AND CAULKED, IMPERMEABLE TO AIR FLOW AND CONTINUOUS OVER ENTIRE BUILDING ENVELOPE. CONTRACTOR TO ENSURE TYVEC IS CONTINUOUS AT CORNERS, PARTITION WALLS, FLOORS AND CEILING JUNCTIONS

1  
A5  
**SECOND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"  
ADDITION = 538.15 SF

## 9.20.11.3. Wood Frame Walls Intersecting Masonry Walls

- (1) Wood frame walls shall be tied to intersecting masonry walls with not less than 4.76 mm diam corrosion- resistant steel rods spaced not more than 900 mm o.c. vertically.
- (2) Ties required in Sentence (1) shall be anchored to the wood framing at one end and shaped to provide a mechanical key at the other end to develop the strength of the tie



## ALL STAIRS/EXTERIOR STAIRS

MAX RISE	= 200 (7 7/8")
MIN. RUN	= 230 (9" )
MIN. TREAD	= 250 ( 9 7/8" )
MIN. NOSING	= 25 (1")
MIN. HEADROOM	= 1950 (6'-5")
MIN. WIDTH	= 860 (2'10")
FOR CURVED STAIRS	
MIN. RUN	= 150 (5 7/8")
MIN. AVERAGE RUN	= 200 (7 7/8").

## FLOOR FRAMING (OBC 9.20.11.1 &amp; 9.23.9.8)

TRIPLE FLOOR JOISTS UNDER ALL STAIR OPENINGS.  
DOUBLE FLOOR JOISTS UNDER ALL PARALLEL NON-LOAD BEARING WALLS. PROVIDE BLOCKING. WHEN FLOOR FRAMING IS GREATER THAN 3' - 4" ABOVE GRADE AND RUNS PARALLEL TO FOUNDATION WALL, PROVIDE 1 1/2" X 3/16" STEEL STRAP ANCHORS AT 6' - 7" O.C. TYING ACROSS THREE JOISTS TO SILL PLATE.

HOLES DRILLED IN FRAMING MEMBERS:  
TO BE MAX. 1/4" THE DEPTH OF THE MEMBER SIZE & NOT LESS THAN 2" FROM THE EDGES.  
ALLOWABLE REDUCTION OF WOOD MEMBERS NET DIMENSION BY NOTCHING OR DRILLING TO BE:  
LOAD BEARING WALL TO 1/3 DEPTH OF STUD ,  
NON-LOAD BEARING WALL MIN 1 1/2" OF STUD TO REMAIN, UNLESS PROPERLY REINFORCED. TOP PLATE MIN. 1 1/2" TO REMAIN. REUSED MEMBERS NOT ALLOWED , UNLESS PART OF TRUSS DESIGN.

CERAMIC/GRANITE/MARBLE/SLATE FINISHED FLOOR (OBC 9.30.1.1) PROVIDE GRANITE/ MARBLE/ CREAMIC/SLATE TILE ON 2" GROUT SETTING BED AND CONCRETE TOPPING WITH WIRE MESH REINFORCING MID DEPTH IN LIEU OF FINISHED FLOOR. STYLE AND COLOUR AS SELECTED BY OWNER

MODEL &amp; CAD NAME:



The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 2.17.5.1 of the building code  
TONY VALENTIN 20917

Name BCIN  
Signature 26 09 21  
Date

REGISTRATION INFORMATION  
Required unless design is exempt under 2.17.4.1 of the building code  
TONY VALENTIN DESIGN 28858  
Firm Name BCIN

## PROJECT TITLE:

**PROPOSED ADDITIONS AND  
ALTERATIONS TO EX. DWELLING**

## DRAWING TITLE:

**SECOND FLOOR PLAN**

## ADDRESS:

**PRADUYT CHAKRABORTY  
RESIDENCE**

**22 BYER DRIVE LT. 43 RP. M-1976**

**CITY OF MARKHAM**

NO.	DATE	REVISION	BY
3	02 2022	issued for C of A	AD
2	07 2021	issued for permit	AD
1	07 2021	issued for client review	AD

DRAWN BY: AD

DESIGNED BY:

DATE: JULY 2021

SCALE : AS SHOWN

SHEET NO.

**A-5**

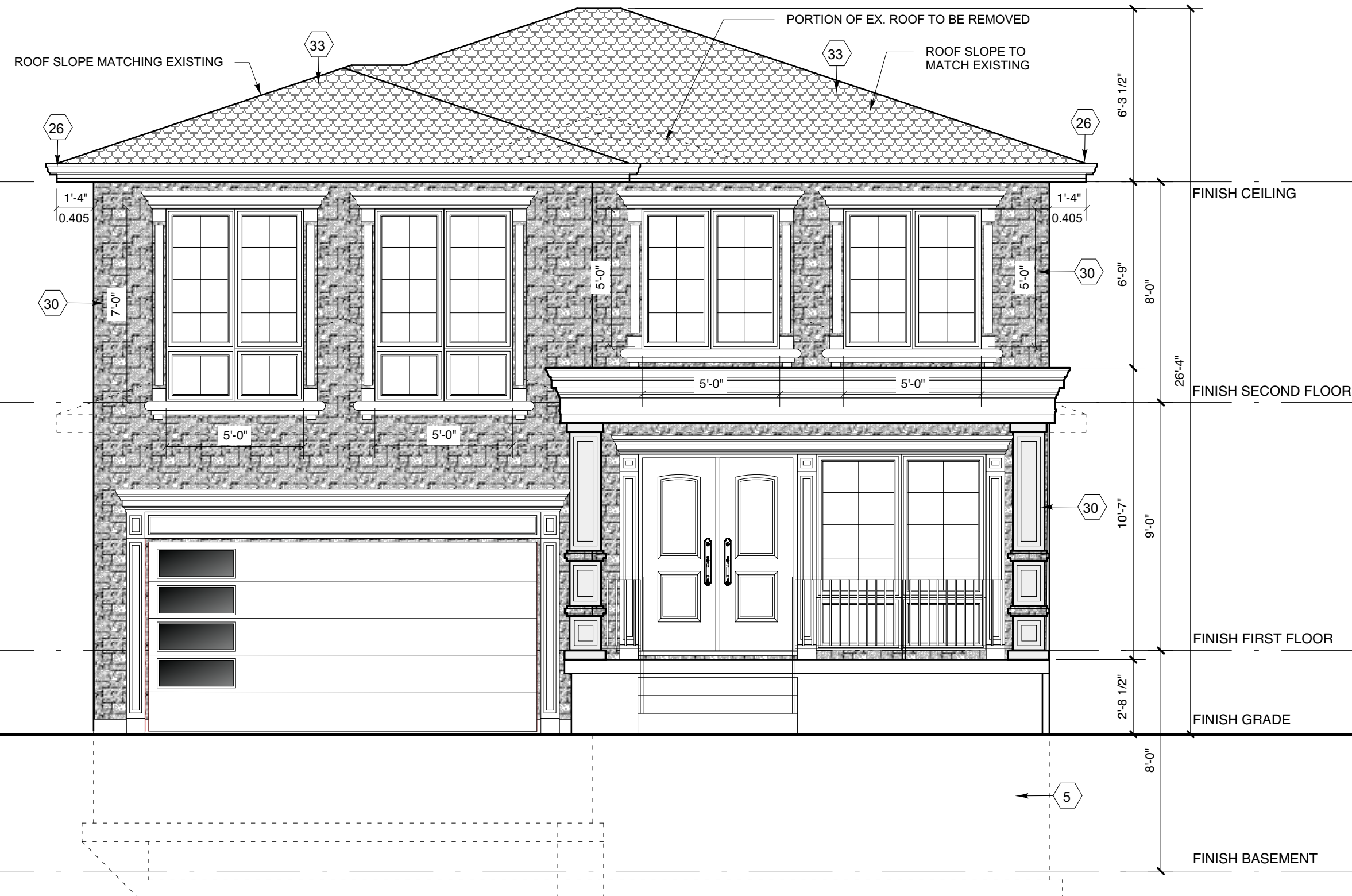
5 OF SHEETS



## Appendix B

File: 22.113450.000.00.MNV

Date: 09/15/22  
MM/DD/YY



1  
A8 **FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



FOR STRUCTURAL ONLY

MODEL & CAD NAME:  
**PowerCADD**  
ENGINEERED  
SOFTWARE  
2016

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QUALIFICATION INFORMATION  
Required unless design is exempt under 2.17.5.1 of the building code

TONY VALENTIN	20917
Name	BCIN
Signature	26 09 21
	Date

REGISTRATION INFORMATION  
Required unless design is exempt under 2.17.4.1 of the building code

TONY VALENTIN DESIGN	28858
Firm Name	BCIN

PROJECT TITLE:  
**PROPOSED ADDITIONS AND ALTERATIONS TO EX. DWELLING**

DRAWING TITLE:  
**FRONT ELEVATION**

ADDRESS:  
**PRADUYT CHAKRABORTY RESIDENCE**  
**22 BYER DRIVE LT. 43 RP. M-1976**  
**CITY OF MARKHAM**

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DRAWN BY: AD

DESIGNED BY:

DATE: JULY 2021

SCALE : AS SHOWN

SHEET NO.

**A-7**

7 OF SHEETS

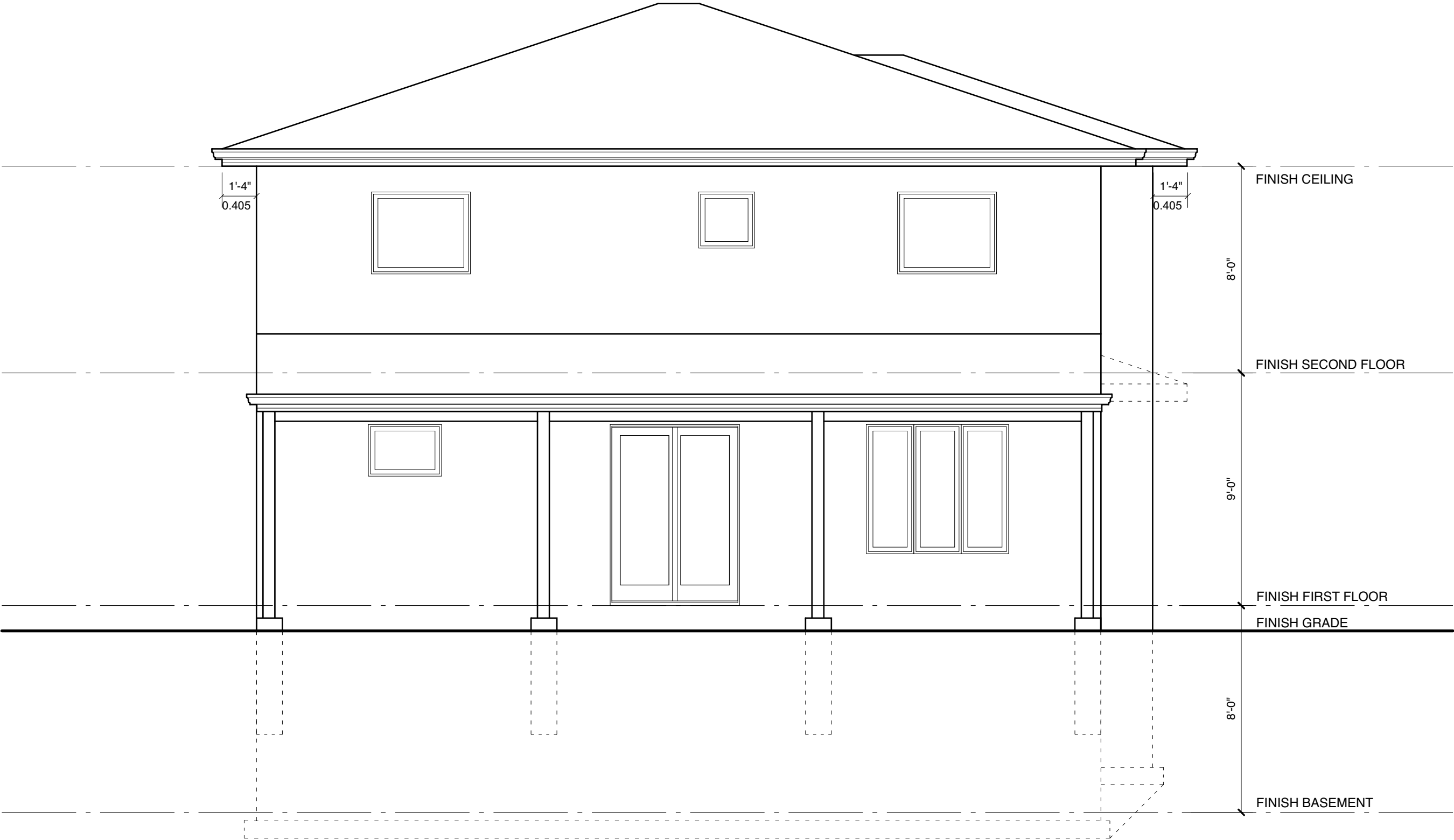
FOR REFERENCE ONLY

Appendix B

File: 22.113450.000.00.MNV

Date: 09/15/22

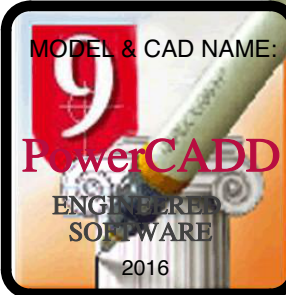
MM/DD/YY



1  
A6 EX. REAR ELEVATION  
SCALE: 1/4" = 1'-0"



FOR STRUCTURAL ONLY



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QUALIFICATION INFORMATION	
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TONY VALENTIN	20917
Name	BCIN
Signature	26 09 21
	Date
REGISTRATION INFORMATION	
Required unless design is exempt under 2.17.4.1 of the building code	
TONY VALENTIN DESIGN	28858
Firm Name	BCIN

PROJECT TITLE:
PROPOSED ADDITIONS AND ALTERATIONS TO EX. DWELLING
DRAWING TITLE:
EX. REAR ELEVATION

ADDRESS:
PRADUYT CHAKRABORTY RESIDENCE
22 BYER DRIVE LT. 43 RP. M-1976
CITY OF MARKHAM

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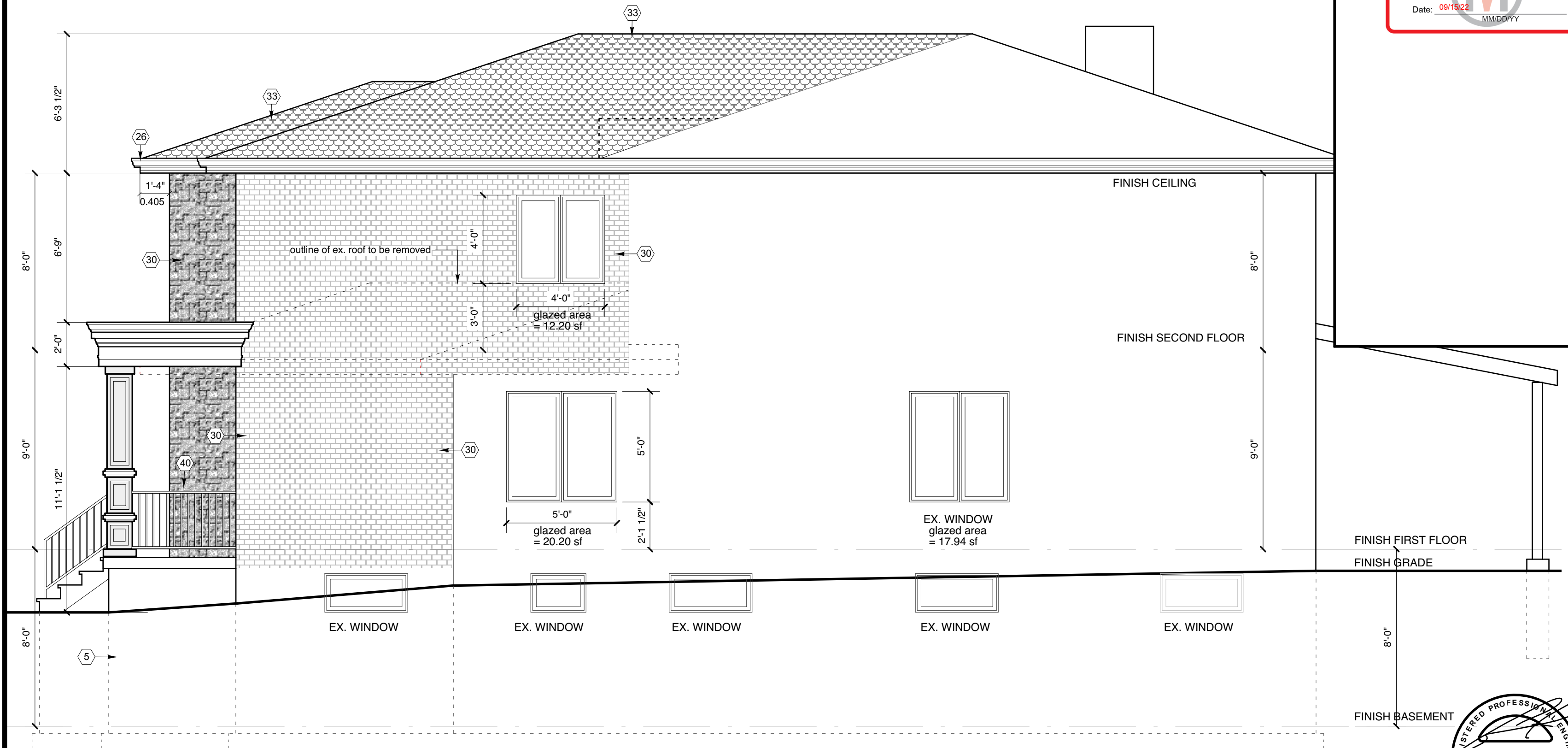
DRAWN BY: AD
DESIGNED BY:
DATE: JULY 2021
SCALE : AS SHOWN

SHEET NO.
A-8
8 OF SHEETS

# Appendix B

File: 22.113450.000.00.MNV

Date: 09/15/22  
MM/DD/YY



1  
A11 **RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

calculation of maximum percentage of glazed openings  
limiting distance = 1820 MM [6.00]  
area of exposing building face = 86.58 M2 [932 SF] x 8% = 6.93 M2  
proposed glazed area = 4.68 M2 [50.34 SF]



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Name	BCIN
Signature	26 09 21
	Date
REGISTRATION INFORMATION	
Required unless design is exempt under 2.17.4.1 of the building code	
TONY VALENTIN DESIGN	28858
Firm Name	BCIN

PROJECT TITLE:
<b>PROPOSED ADDITIONS AND ALTERATIONS TO EX. DWELLING</b>
DRAWING TITLE:
<b>RIGHT SIDE ELEVATION</b>

ADDRESS:
<b>PRADUYT CHAKRABORTY RESIDENCE</b>
<b>22 BYER DRIVE LT. 43 RP. M-1976</b>
<b>CITY OF MARKHAM</b>

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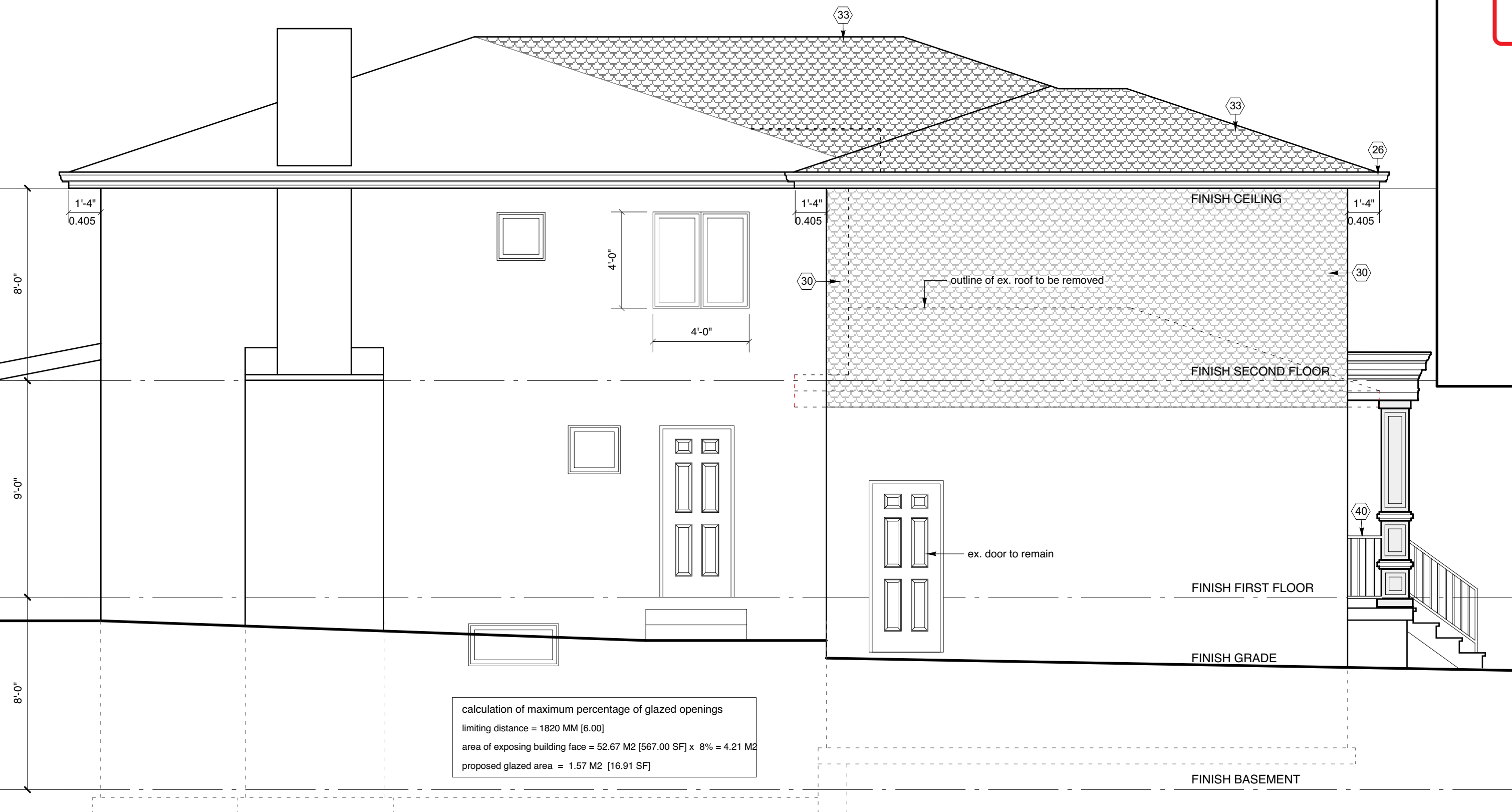
DRAWN BY: AD
DESIGNED BY:
DATE: JULY 2021
SCALE : AS SHOWN

SHEET NO.
<b>A-9</b>
9 OF SHEETS

## Appendix B

File: 22.113450.000.00.MNV

Date: 09/15/22  
MM/DD/YY



1  
A10  
**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



FOR STRUCTURAL ONLY

MODEL & CAD NAME:

**PowerCADD**  
ENGINEERING  
SOFTWARE  
2016

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Ontario Building Code to be a designer.

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TONY VALENTIN 20917

Name BCIN  
Signature Date  
26 09 21

REGISTRATION INFORMATION  
Required unless design is exempt under 2.17.4.1 of the building code  
TONY VALENTIN DESIGN 28858  
Firm Name BCIN

PROJECT TITLE:

**PROPOSED ADDITIONS AND  
ALTERATIONS TO EX. DWELLING**

DRAWING TITLE:

**LEFT SIDE ELEVATION**

ADDRESS:

**PRADUYT CHAKRABORTY  
RESIDENCE**

**22 BYER DRIVE LT. 43 RP. M-1976**

**CITY OF MARKHAM**

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DRAWN BY: AD

DESIGNED BY:

DATE: JULY 2021

SCALE : AS SHOWN

SHEET NO.

**A-10**

10 OF SHEETS